

415 N. ROOSEVELT FACADE IMPROVEMENTS

KENNEWICK WASHINGTON

PORT OF KENNEWICK

Meier
ARCHITECTURE + ENGINEERING
12 W. KENNEWICK AVE.,
KENNEWICK, WA 99336
P: 509.735.1589
F: 509.783.5075
www.meierinc.com

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	JST	JOIST
AFG	ABOVE FINISHED GRADE	KIT	KITCHEN
ADJ	ADJACENT	KO	KNOCK OUT
ALUM	ALUMINUM	LAM	LAMINATE
ADA	AMERICANS WITH DISABILITIES ACT & AND	LS	LANDSCAPING
ANNU	ANNUNCIATOR PANEL	LAV	LAVATORY
ANDZ	ANODIZED	L	LENGTH
APPROX	APPROXIMATE	LT	LIGHT
@	AT	LB	POUNDS
AHJ	AUTHORITY HAVING JURISDICTION	MFR(S)	MANUFACTURER(S)
BC	BABY CHANGING STATION	MAS	MASONRY
BM	BEAM	MATL	MATERIAL
BIT	BITUMINOUS	MAX	MAXIMUM
BO	BOTTOM OF	MECH	MECHANICAL
BOB	BOTTOM OF BEAM	MTL	METAL
BLDG	BUILDING	MWP	METAL WALL PANEL
CAB	CABINET	MIN	MINIMUM
CPT	CARPET	MISC	MISCELLANEOUS
CIP	CAST-IN-PLACE	MR	MOISTURE RESISTANT
CB	CATCH BASIN	NOM	NOMINAL
CLG	CEILING	N	NORTH
CB	CEMENT BOARD	N/A	NOT APPLICABLE
CTR	CENTER	NIC	NOT IN CONTRACT
C/C	CENTER TO CENTER	NTS	NOT TO SCALE
CL	CENTERLINE	NO	NUMBER
CT	CERAMIC TILE	OL	OCCUPANT LOAD
CLR	CLEAR	OLF	OCCUPANT LOAD FACTOR
COL	COLUMN	OCG	OCCUPANTS
CONC	CONCRETE	OPP	OPPOSITE
CMU	CONCRETE MASONRY UNIT	OSB	ORIENTED STRAND BOARD
CD	CONDENSATE DRAIN	OD	OVERFLOW DRAIN
CONN	CONNECTION	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
CONST	CONSTRUCTION	OFOI	OWNER FURNISHED, OWNER INSTALLED
CONT	CONTINUOUS	PP	AUTOMATIC OPERATED PUSH PLATE
CI	CONTINUOUS INSULATION	PNT	PAINT OR PAINTED
CJ	CONTROL JOINT	PR	PAIR
CG	CORNER GUARD	PTD	PAPER TOWEL DISPENSER
CORR	CORRIDOR	PTDT	PAPER TOWEL DISPENSER WITH TRASH
CW	CURTAIN WALL	PLAM	PLASTIC LAMINATE
D	DEEP, DEPTH	PL	PLATE
DEMO	DEMOLISH OR DEMOLITION	PLMB	PLUMBING
DIA	DIAMETER	PLYWD	PLYWOOD
DIM(S)	DIMENSION(S)	PVC	POLYVINYLCHLORIDE
DW	DISHWASHER	PT	PRESSURE TREATED
DN	DOWN	QTY	QUANTITY
DS	DOWNSPOUT	RWL	RAIN WATER LEADER
DRN	DRAIN	ROP	REFLECTED CEILING PLAN
EA	EACH	REFR	REFRIGERATOR
E	EAST	REQD	REQUIRED/REQUIRED
EOD	EDGE OF FRAME	RA	RETURN AIR
EHD	ELECTRIC HAND DRYER	REV	REVISION/REVISED
EWIC	ELECTRIC WATER COOLER	RD	ROOF DRAIN
ELEC	ELECTRICAL	RM	ROOM
EP	ELECTRICAL PANEL	RO	ROUGH OPENING
EL	ELEVATION	RBR	RUBBER
ELEV	ELEVATOR	RB	RUBBER BASE
EPOX	EPOXY	SND	SANITARY NAPKIN DISPOSAL
EQ	EQUAL	SLR	SEALER
EQPT	EQUIPMENT	SHT-V	SHEET VINYL
EPDM	ETHYLENE PROPYLENE DIENE MONOMER	SIM	SIMILAR
(E)	EXISTING	SD	SOAP DISPENSER
EXPD	EXPOSED	SC	SOLID CORE
EXT	EXTERIOR	STC	SOUND TRANSMISSION COEFFICIENT
EIFS	EXTERIOR INSULATION FINISH SYSTEM	S	SOUTH
FO	FACE OF	SPEC	SPECIFIED OR SPECIFICATION
FFIN	FACTORY FINISH	SB	SPLASH BLOCK
FT	FEET/FOOT	SF	SQUARE FEET/FOOT
FND	FEMININE NAPKIN DISPENSER	SS	STAINLESS STEEL
FRC	FIBER REINFORCED CONCRETE	S-TRD	STAIR TREAD
FRP	FIBERGLASS REINFORCED PLASTIC	SDT	STATIC DISSIPATIVE TILE
FF	FINISHED FLOOR	STL	STEEL
FAAP	FIRE ALARM ANNUNCIATOR PANEL	STOR	STORAGE
FACP	FIRE ALARM CONTROL PANEL	SF-4	STOREFRONT
FDC	FIRE DEPARTMENT CONNECTION	STR	STRUCTURAL
FE	FIRE EXTINGUISHER	SBS	STYRENE BUTADIENE STYRENE
FEC	FIRE EXTINGUISHER CABINET	SATC	SUSPENDED ACOUSTICAL TILE CEILING
FPG	FIREPROOFING	TV	TELEVISION
FLR	FLOOR	TEMP	TEMPERED GLASS
FD	FLOOR DRAIN	TPO	THERMOPLASTIC POLYOLEFINS
FFB	FLUSH FLOOR BOX	TBD	TO BE DETERMINED
FTG	FOOTING	TBR	TO BE REMOVED
FND	FOUNDATION	TPD	TOILET PAPER DISPENSER
FBO	FURNISHED BY OTHERS	TSCD	TOILET SEAT COVER DISPENSER
FURN	FURNITURE	T&G	TONGUE AND GROOVE
FURR	FURRING	TOC	TOP OF CONCRETE
GALV	GALVANIZED	TOS	TOP OF STEEL
GA	GAUGE	TYP	TYPICAL
GC	GENERAL CONTRACTOR	UNO	UNLESS NOTED OTHERWISE
GL	GLASS	UR	URINAL
GB	GRAB BAR	VERT	VERTICAL
GRD	GROUND	VEST	VESTIBULE
GA	GUAGE	VCT	VINYL COMPOSITION TILE
GWB	GYPSTUM WALL BOARD	VWC	VINYL WALL COVERING
H	HEIGHT	WC	WATER CLOSET
HO	HOLD OPEN	WH	WATER HEATER
HC	HOLLOW CORE	WB	WHITE BOARD
HM	HOLLOW METAL	W	WIDE/WEST
HORIZ	HORIZONTAL	W/	WITH
HB	HOSE BIB/BIBB	W/O	WITHOUT
HR	HOUR	WD	WOOD
IN	INCH/INCHES	WP	WORK POINT / WATER PROOF
INSUL	INSULATED OR INSULATION	XPS	EXTRUDED POLYSTYRENE
JAN	JANITOR	'XP'	FIRE AND MOLD RESISTANT GWB
JT	JOINT	'X'	FIRE RESISTANT LABELED GWB



GENERAL PROJECT NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2021 INTERNATIONAL BUILDING CODE (IBC), AND LOCAL AHJ CODES AND REQUIREMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF SITE CONDITIONS, INSTALLATION STANDARDS AND CONSTRUCTION CONDITIONS. FIELD VERIFY ALL NECESSARY DIMENSIONS. DISCREPANCIES BETWEEN SITE CONDITIONS AND THE CONSTRUCTION DRAWINGS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT. WORK DONE WITHOUT THE ARCHITECT'S APPROVAL IS THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR ALONE SHALL BE RESPONSIBLE FOR SAFETY. THE CONTRACTOR SHALL PROVIDE ADEQUATE SAFEGUARDS, SAFETY DEVICES AND PROTECTIVE EQUIPMENT, AND TAKE ANY OTHER NEEDED ACTIONS NECESSARY TO PROTECT THE LIFE, HEALTH AND SAFETY OF THE PUBLIC AND TO PROTECT PROPERTY IN CONNECTION WITH THE WORK COVERED BY THE CONTRACT.
4. NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.

PROJECT INFORMATION

PROJECT NAME: PORT OF KENNEWICK 415 N. ROOSEVELT FACADE IMPROVEMENTS
PROJECT ADDRESS: BUILDING A & BUILDING B, 415 N. ROOSEVELT ST., KENNEWICK, WA 99336
PARCEL ID: 1-3299-400-0004-002
ZONING: IL (INDUSTRIAL, LIGHT)
AHJ: CITY OF KENNEWICK
DESCRIPTION: PAINT AND REPAIRS TO EXISTING BUILDING EXTERIOR WALL FINISHES ATTACHED TO EXISTING EXTERIOR WALLS.
OWNER: PORT OF KENNEWICK
ADDRESS: 350 CLOVER ISLAND DRIVE, SUITE 200, KENNEWICK, WA 99336
ARCH/ENGR: MEIER ARCHITECTURE - ENGINEERING
CONTACT: THOMAS P. KASTNER (509) 735-1589
12 W KENNEWICK AVE
KENNEWICK, WA 99336

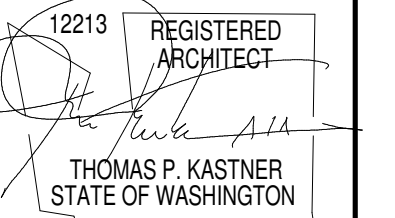
SHEET LIST

NUMBER	REV	NAME
T001		TITLE SHEET
A100	1	SITE PLAN
D101	1	BLDG A EXT (E)/DEMO ELEVATIONS
D102	1	BLDG A EXT (E)/DEMO ELEVATIONS
D103	1	BLDG B EXT (E)/DEMO ELEVATIONS
A201	1	BLDG A EXT ELEVATIONS
A201 COLOR	1	BLDG A EXT ELEVATIONS COLOR
A202	1	BLDG A EXT ELEVATIONS
A202 COLOR	1	BLDG A EXT ELEVATIONS COLOR
A203	1	BLDG B EXT ELEVATIONS
A203 COLOR	1	BLDG B EXT ELEVATIONS COLOR
A501		DETAILS

LOCATION MAP



NO.	REVISION	DATE	DRWN	CHKD	DSGN	APPD



APPROVAL		
DRAWN	PXC	07/29/2024
DESIGN	JM	07/29/2024
CHECKED	DRE	07/29/2024
APPROVED	TPK	07/29/2024

PORT OF KENNEWICK
415 N. ROOSEVELT FACADE
IMPROVEMENTS
415 N. ROOSEVELT ST., KENNEWICK, WA 99336
TITLE SHEET

DWG. NO.
T001
SCALE: 1/4" = 1'-0"
ISSUE DATE: 07/29/2024
JOB NO.
9054
REV.
0

SITE PLAN SHEET NOTES

- FOR GENERAL PROJECT NOTES AND LEGENDS, REFER TO T001.
- IF DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.

SITE PLAN LEGEND

- DEMOLITION SCOPE, REFER TO KEY NOTES
- - - - - PROPERTY LINE

KEYNOTE LEGEND

- | NO. | DESCRIPTION |
|-----|---|
| 1 | DEMOLISH (E) OVERHEAD BEAM, REMOVE THE LIGHT AND WIRING. CAP WIRING AT NEAREST J BOX TO REMAIN. PROTECT (E) SITE ELEMENTS UNDERNEATH DEMOLITION AREA |
| 2 | (E) SIGN TO REMAIN |
| 3 | (E) MAIL BOXES TO REMAIN |
| 4 | (E) HVAC UNIT, TYP |
| 5 | PROVIDE 6" SPLASH BLOCK ANGLED AWAY FROM WALKWAY INTO CENTER OF COURTYARD. USE 45 DEGREE ELBOW TO ANGLE TERMINATION DOWN AND TOWARD CENTER OF COURTYARD INTO SPLASHBLOCK. EXTEND PIP TO TERMINATE AT LEAST 12" INTO SPLASH BLOCK. |
| 6 | TRENCH FOR TRENCH DRAIN, COORDINATE TRENCH DRAIN LOCATIONS WITH ELEVATION DRAWING NOTES FOR POTENTIAL CONFLICTS. SEE DETAIL 3/A501 |
| 7 | (E) DOWNSPOUT |
| 8 | NEW DOWNSPOUT |
| 9 | SAND, CLEAN, AND FILL IMPERFECTIONS ON ALL (E) GUARD AND HAND RAILS FOR A SMOOTH SURFACE IN PREPARATION FOR PAINT. PAINT WITH PAINT COLOR 2. SEE EXTERIOR FINISH NOTES AND PAINT KEY. |

DATE	DRWN	CHKD	DSGN	APPD
08/29/24	PXC	TPK		

NO.	REVISION	ADDENDUM
1		

12213 REGISTERED ARCHITECT
THOMAS P. KASTNER
STATE OF WASHINGTON

APPROVAL

DRAWN	PXC	07/29/2024
DESIGN	JM	07/29/2024
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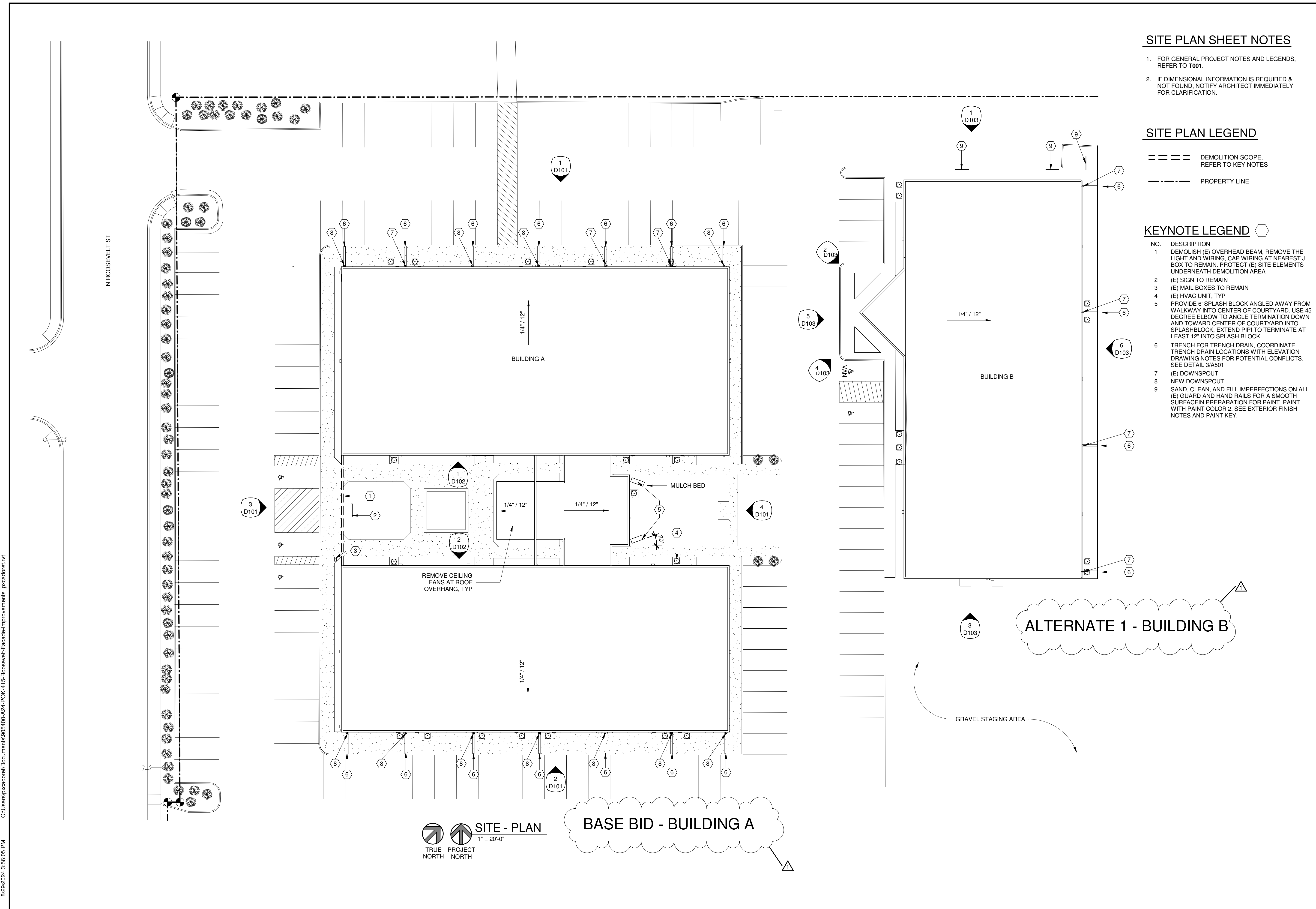
PORT OF KENNEWICK
415 N. ROOSEVELT FACADE IMPROVEMENTS
415 N. ROOSEVELT ST., KENNEWICK, WA 99336

SITE PLAN

DWG. NO.
A100

SCALE: As indicated
ISSUE DATE: 07/29/2024
JOB NO.
9054

REV.
1



PROJECT SHEET NOTES

- FOR GENERAL NOTES AND LEGEND, REFER TO T001.
- PROTECT (E) BLACK STOREFRONT ASSEMBLIES FROM OVERPAINT AND OVERSPRAY, (E) FINISH TO REMAIN AS IS.
- SAND, CLEAN, AND FILL IMPERFECTIONS ON ALL (E) EXTERIOR HOLLOW METAL DOORS, FRAMES, SIDELITE FRAMES, AND OPAQUE PANELS IN PREP FOR PAINT. REFER TO EXTERIOR FINISH NOTES AND COLOR KEY.
- SAND, CLEAN, AND PREPARE ON ALL (E) EXTERIOR OVERHEAD DOORS AND FRAMES FOR A SMOOTH SURFACE IN PREP FOR PAINT. REFER TO EXTERIOR FINISH NOTES AND COLOR KEY.
- REMOVE ALL EXISTING SEALANT AT PERIMETER OF FRAMES (ALL SIDES) AT EXISTING ALUMINUM STOREFRONT ASSEMBLIES. PROVIDE NEW SEALANT ALONG PERIMETER OF EXISTING ALUMINUM STOREFRONT ASSEMBLIES FRAMES (ALL SIDES).
- CLEAN, SAND AND PREPARE ALL (E) 4" METAL REVEALS AND CAP FLASHING FOR A SMOOTH SURFACE. REFER TO EXTERIOR FINISH NOTES AND COLOR KEY.
- NOT USED
- PROTECT (E) CAMERAS, HOSE BIBS, LIGHT FIXTURES, HVAC EQUIPMENT, VENT LOUVERS AND CAPS, ELECTRICAL EQUIPMENT INCLUDING SHUT-OFF GEAR, METERS AND PANELS, (E) BLACK STOREFRONT ASSEMBLIES, AND FIRE ALARM COMPONENTS FROM OVER PAINT AND OVER SPRAY.
- WHERE POSSIBLE SLOUGHING, CRACKS, SPALLING, AND / OR EXTENSIVE WATER DAMAGE IS INDICATED THROUGHOUT "PANEL" AREA, STUCCO SYSTEM SHALL BE DEMOLISHED TO NEAREST CONTROL JOINTS, AND THE ENTIRE AREA ("PANEL") REPLACED WITH NEW 3 PART CEMENT STUCCO, LATHE, AND MOISTURE BARRIER. THE SHEATHING SHALL BE INSPECTED FOR DAMAGE. IF DAMAGE IS OBSERVED, CONTACT ARCHITECT FOR OBSERVATION TO DETERMINE NEED FOR REPLACEMENT. IF REQUIRED THE SHEATHING SHALL BE REPLACED AT LEAST 6" BEYOND DAMAGED AREA TO NEAREST STUD. INSTALL ALL NEW MATERIALS PER WRITTEN SPECS.
- WHERE DAMAGE TO CONTROL JOINTS OR SCREEDS IS INDICATED, REPLACE WEEP SCREED AND / OR CONTROL JOINT WITH MATCHING PROFILE AT LEAST 6" BEYOND DAMAGED AREA. INSTALL ALL NEW MATERIALS PER WRITTEN SPECS.
- WHERE LOCALIZED DAMAGE (WATER OR OTHERWISE) IS INDICATED THE STUCCO AND LATHE SHALL BE DEMOLISHED TO AT LEAST 2' BEYOND SECURELY ADHERED STUCCO IN PREP FOR NEW STUCCO APPLICATION. INSPECT MOISTURE BARRIER, AND/OR SHEATHING. IF DAMAGE IS OBSERVED, CONTACT ARCHITECT FOR OBSERVATION TO DETERMINE NEED FOR REPLACEMENT. THE MATERIAL SHALL BE REPLACED AT LEAST 6" BEYOND DAMAGED AREA TO NEAREST STUD. INSTALL ALL NEW MATERIALS PER WRITTEN SPECS.
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DATE	BRWNCHKD	DSGN	APPD
08/29/24	PXC	TPK	TPK
REVISION	ADDENDUM	NO.	DESCRIPTION

12213 REGISTERED ARCHITECT
 THOMAS P. KASTNER
 STATE OF WASHINGTON

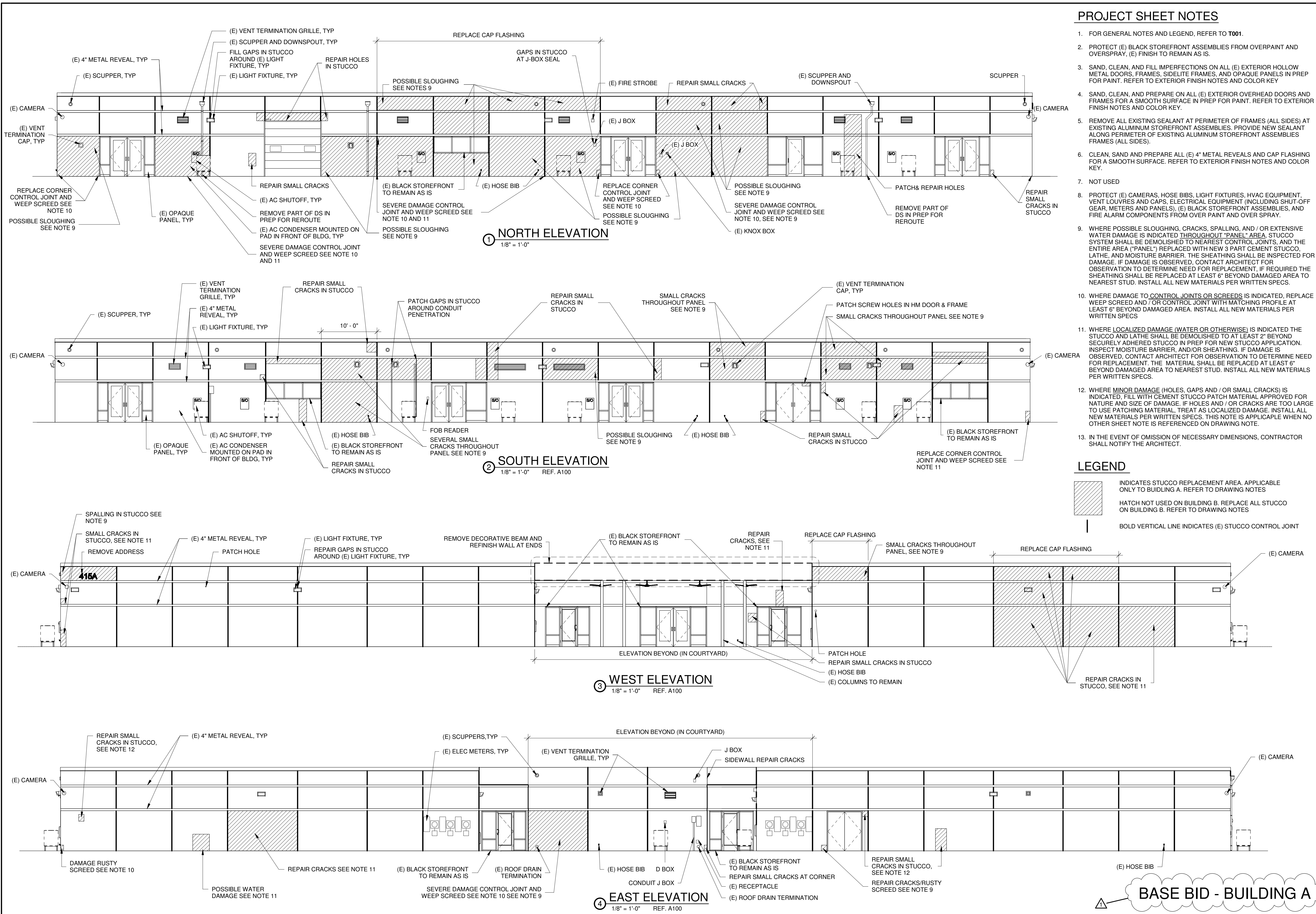
APPROVAL

DRAWN	PXC	07/29/2024
DESIGN	JM	07/29/2024
CHECKED	DRE	07/29/2024
APPROVED	TPK	07/29/2024

PORT OF KENNEWICK
415 N. ROOSEVELT FACADE IMPROVEMENTS
 415 N. ROOSEVELT ST., KENNEWICK, WA 99336
BLDG A EXT (E)/DEMO ELEVATIONS

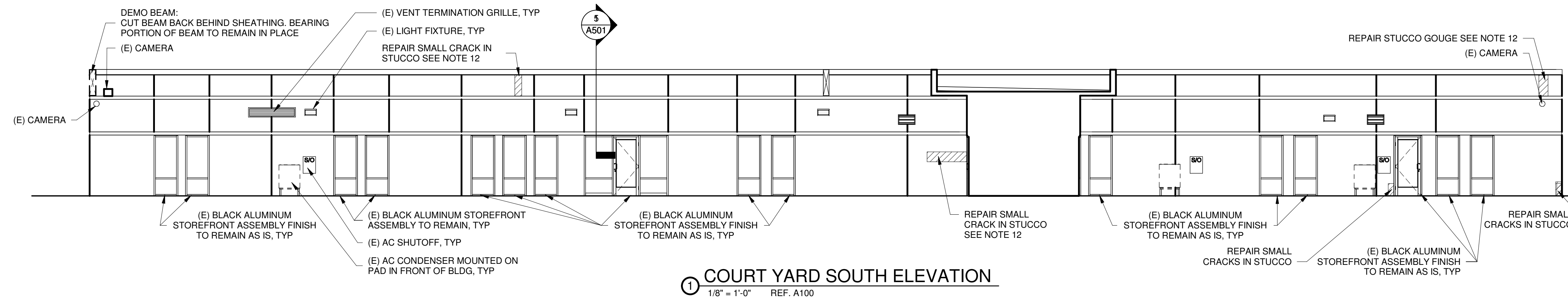
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D101
 SCALE: As indicated
 ISSUE DATE: 07/29/2024
 JOB NO.
9054

BASE BID - BUILDING A

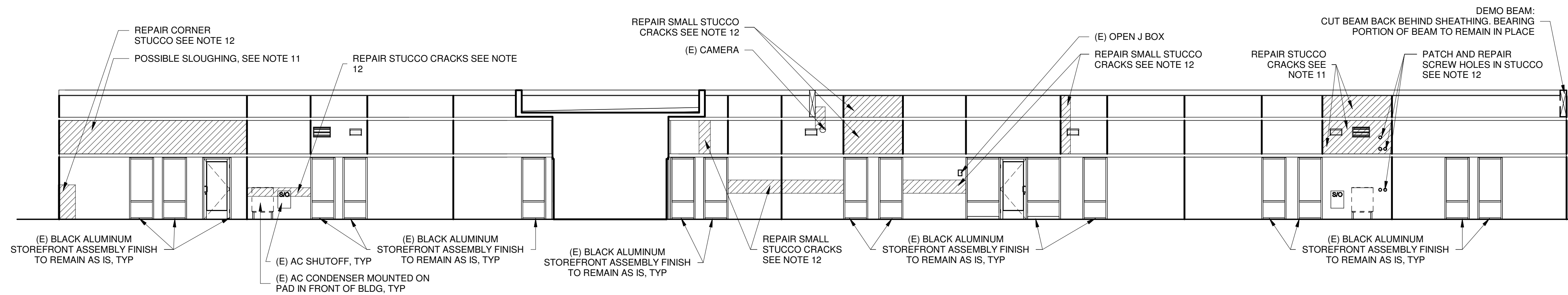


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1 COURT YARD SOUTH ELEVATION
1/8" = 1'-0" REF. A100



2 COURT YARD NORTH ELEVATION
1/8" = 1'-0" REF. A100

PROJECT SHEET NOTES

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LEGEND

- INDICATES STUCCO REPLACEMENT AREA, APPLICABLE ONLY TO BUILDING A. REFER TO DRAWING NOTES
- HATCH NOT USED ON BUILDING B. REPLACE ALL STUCCO ON BUILDING B. REFER TO DRAWING NOTES
- BOLD VERTICAL LINE INDICATES (E) STUCCO CONTROL JOINT

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DATE	DRWN	CHKD	DSGN	APPD	TPK	TPK
08/29/24	PXC					

NO.	REVISION	ADDENDUM
1		

12213 REGISTERED ARCHITECT
THOMAS P. KASTNER
STATE OF WASHINGTON

APPROVAL

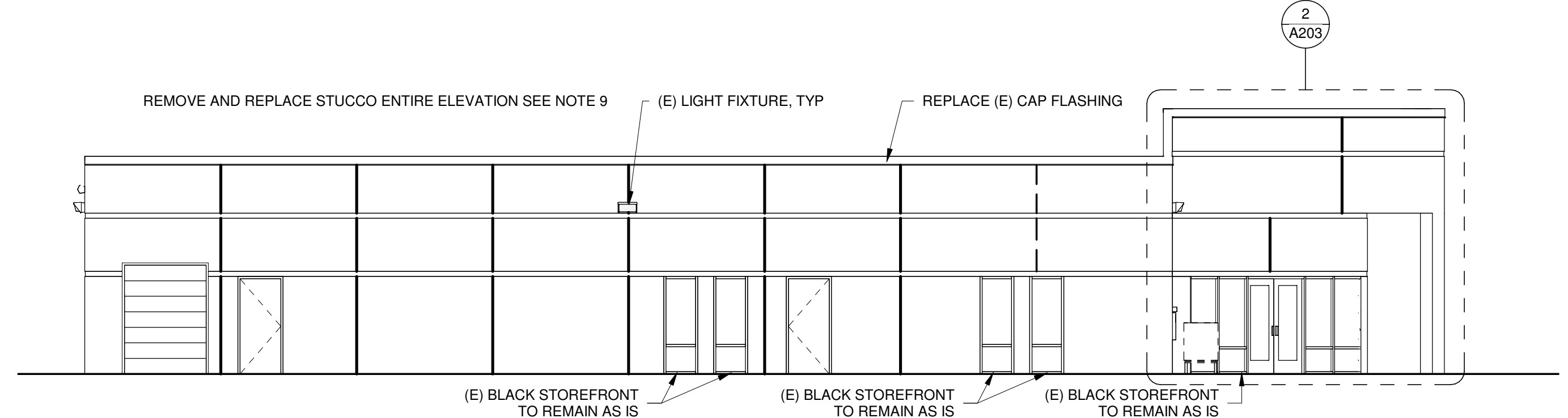
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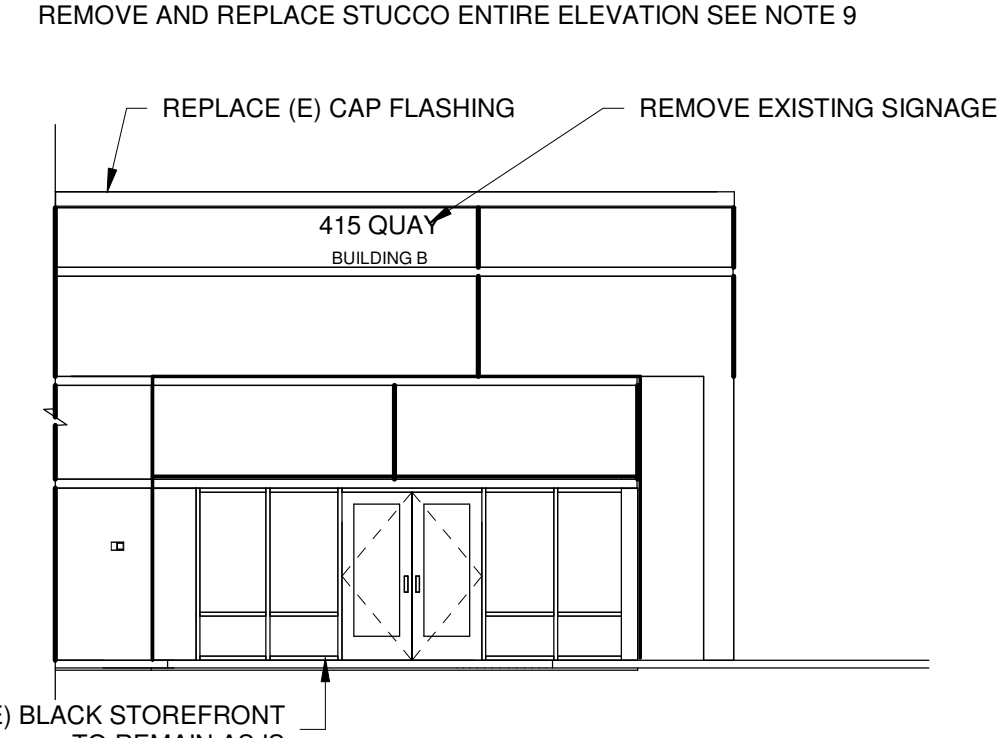
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D102
SCALE: As indicated
ISSUE DATE: 07/29/2024
JOB NO.
9054
REV.
1

BASE BID - BUILDING A

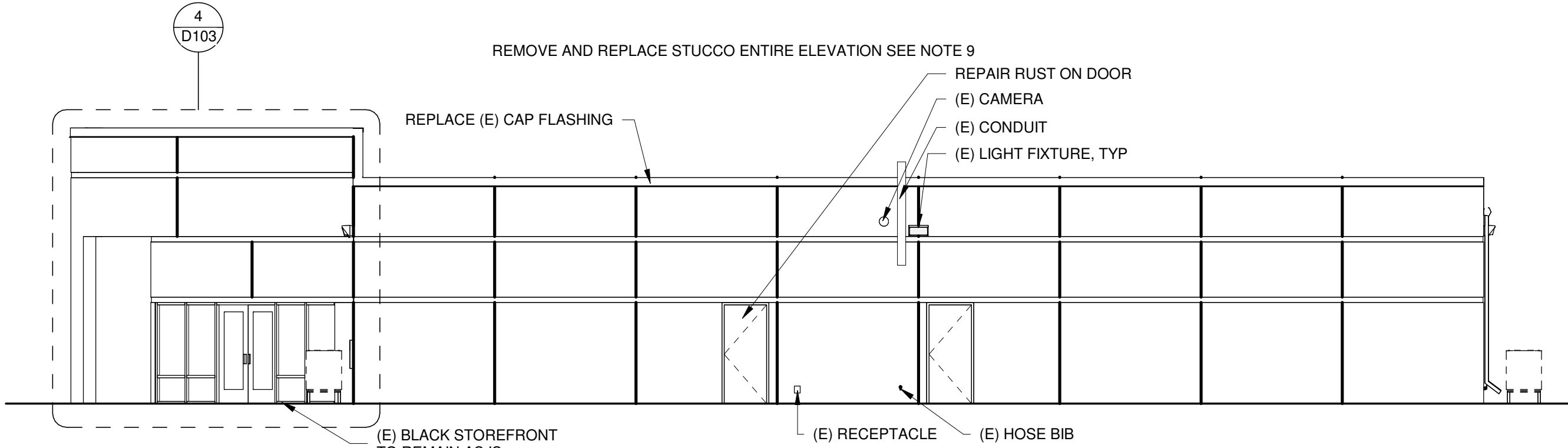
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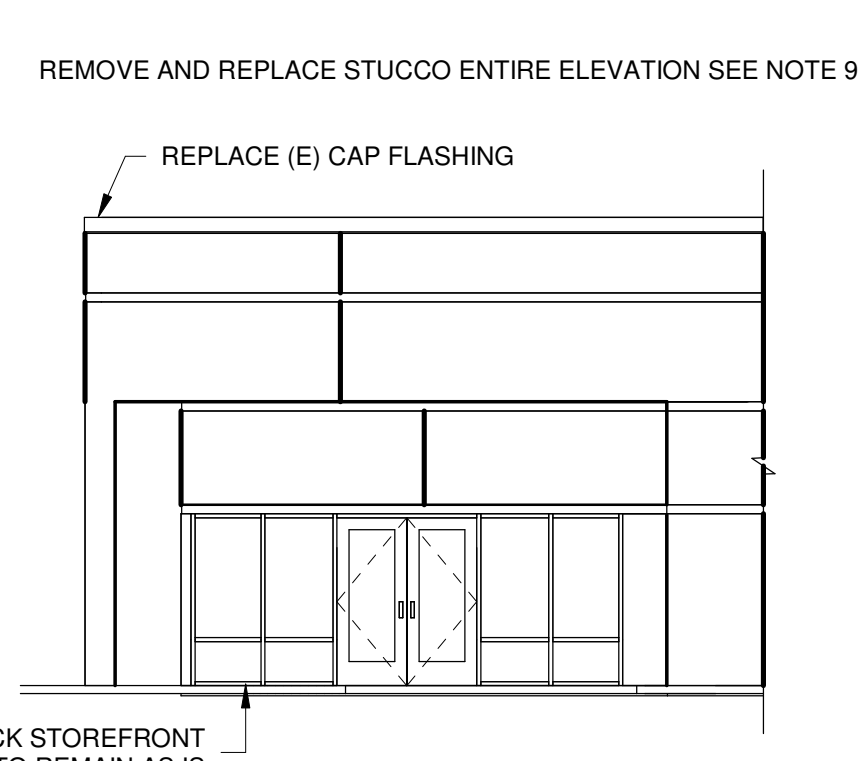
1 NORTH ELEVATION
1/8" = 1'-0"



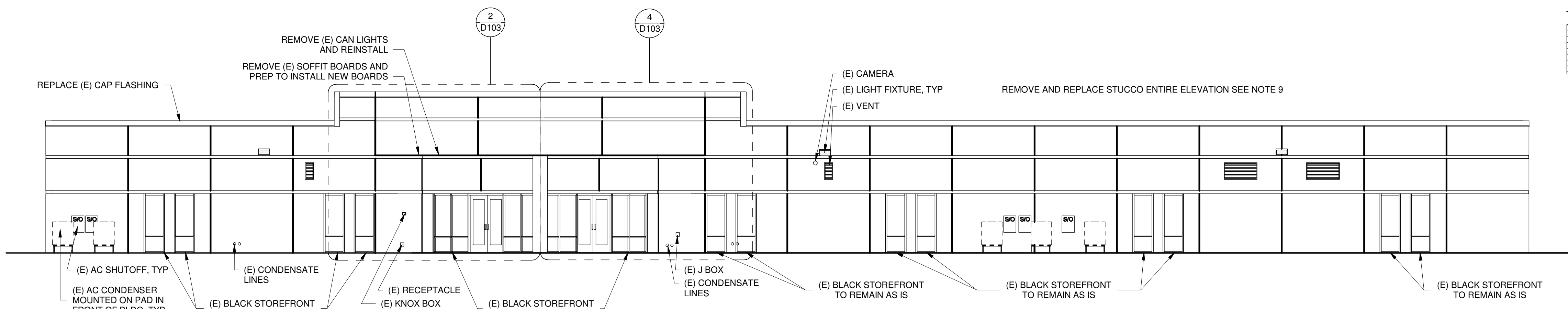
2 NORTH ELEVATION ENTRY
1/8" = 1'-0"



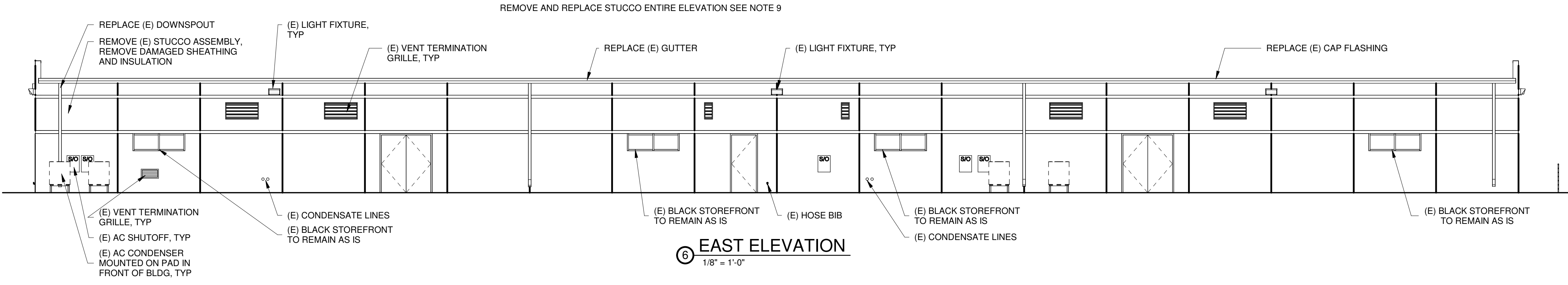
3 SOUTH ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION ENTRY
1/8" = 1'-0"



5 WEST ELEVATION
1/8" = 1'-0"



6 EAST ELEVATION
1/8" = 1'-0"

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- NOT USED.
- PROTECT (E) CAMERAS, HOSE BIBS, LIGHT FIXTURES, HVAC EQUIPMENT, VENT LOUVERES AND CAPS, ELECTRICAL EQUIPMENT INCLUDING SHUT-OFF GEAR, METERS AND PANELS, (E) BLACK STOREFRONT ASSEMBLIES, AND FIRE ALARM COMPONENTS FROM OVER PAINT AND OVER SPRAY.
- WHERE POSSIBLE SLOUGHING, CRACKS, SPALLING, AND / OR EXTENSIVE WATER DAMAGE IS INDICATED THROUGHOUT "PANEL" AREA, STUCCO SYSTEM SHALL BE DEMOLISHED TO NEAREST CONTROL JOINTS, AND THE ENTIRE AREA ("PANEL") REPLACED WITH NEW 3 PART CEMENT STUCCO, LATHE, AND MOISTURE BARRIER. THE SHEATHING SHALL BE INSPECTED FOR DAMAGE. IF DAMAGE IS OBSERVED, CONTACT ARCHITECT FOR OBSERVATION TO DETERMINE NEED FOR REPLACEMENT. IF REQUIRED THE SHEATHING SHALL BE REPLACED AT LEAST 6" BEYOND DAMAGED AREA TO NEAREST STUD. INSTALL ALL NEW MATERIALS PER WRITTEN SPECS.
- WHERE DAMAGE TO CONTROL JOINTS OR SCREEDS IS INDICATED, REPLACE WEEP SCREED AND / OR CONTROL JOINT WITH MATCHING PROFILE AT LEAST 6" BEYOND DAMAGED AREA. INSTALL ALL NEW MATERIALS PER WRITTEN SPECS.
- WHERE LOCALIZED DAMAGE (WATER OR OTHERWISE) IS INDICATED THE STUCCO AND LATHE SHALL BE DEMOLISHED TO AT LEAST 2' BEYOND SECURELY ADHERED STUCCO IN PREP FOR NEW STUCCO APPLICATION. INSPECT MOISTURE BARRIER, AND/OR SHEATHING. IF DAMAGE IS OBSERVED, CONTACT ARCHITECT FOR OBSERVATION TO DETERMINE NEED FOR REPLACEMENT. THE MATERIAL SHALL BE REPLACED AT LEAST 6" BEYOND DAMAGED AREA TO NEAREST STUD. INSTALL ALL NEW MATERIALS PER WRITTEN SPECS.
- WHERE MINOR DAMAGE (HOLES, GAPS AND / OR SMALL CRACKS) IS INDICATED, FILL WITH CEMENT STUCCO PATCH MATERIAL APPROVED FOR NATURE AND SIZE OF DAMAGE. IF HOLES AND / OR CRACKS ARE TOO LARGE TO USE PATCHING MATERIAL, TREAT AS LOCALIZED DAMAGE. INSTALL ALL NEW MATERIALS PER WRITTEN SPECS. THIS NOTE IS APPLICABLE WHEN NO OTHER SHEET NOTE IS REFERENCED ON DRAWING NOTE.
- IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS, CONTRACTOR SHALL NOTIFY THE ARCHITECT.

LEGEND

- INDICATES STUCCO REPLACEMENT AREA, APPLICABLE ONLY TO BUILDING A. REFER TO DRAWING NOTES
- HATCH NOT USED ON BUILDING B. REPLACE ALL STUCCO ON BUILDING B. REFER TO DRAWING NOTES
- BOLD VERTICAL LINE INDICATES (E) STUCCO CONTROL JOINT

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F: 509.783.5075
www.meierinc.com

DATE	DRWN	CHKD	DSGN	APPD	TPK
08/29/24	PXC				

NO.	REVISION	ADDENDUM
1		

12213 REGISTERED ARCHITECT
THOMAS P. KASTNER
STATE OF WASHINGTON

APPROVAL

DRAWN	PXC	07/29/2024
DESIGN	JM	07/29/2024
CHECKED	DRE	07/29/2024
APPROVED	TPK	07/29/2024

PORT OF KENNEWICK
415 N. ROOSEVELT FACADE IMPROVEMENTS
 415 N. ROOSEVELT ST., KENNEWICK, WA 99336
BLDG B EXT (E)/DEMO ELEVATIONS

DWG. NO. **D103**
SCALE: As indicated
ISSUE DATE: 07/29/2024
JOB NO. **9054**
REV. **1**

ALTERNATE 1 - BUILDING B

PROJECT SHEET NOTES

- FOR GENERAL NOTES AND LEGEND, REFER TO T001.
- IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS, CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- REFER TO WRITTEN SPECS AND SHEET A501 FOR EXTERIOR FINISH SPECIFICATIONS.
- INSTALL NEW COLLECTOR AND DOWNSPOUTS PER WRITTEN SPECS AT (E) SCUPPERS. ROUTE DOWNSPOUTS AS NEEDED TO AVOID LOCATING TRENCH DRAINS UNDER AC CONDENSER UNITS, OVER VENTS, LIGHT FIXTURES, OR ANY EXISTING EQUIPMENT OR FIXTURES ATTACHED TO THE WALL. PAINT TO MATCH ADJ WALL. SEE COLOR SHEETS.
- REMOVE AND REPLACE SEALANT @ ALL MTL 4" REVEAL JOINT SEAMS

EXTERIOR FINISH NOTES

SEE EXTERIOR PAINT KEY AND LEGEND.

(E) EXTERIOR HM DOORS WITH AND WITHOUT SIDELITES, FRAMES AND SIDELITE FRAMES AND OPAQUE PANELS SHALL BE PAINT 1. EXCEPT (E) BLACK STOREFRONT DOORS AND WINDOWS. DOOR HARDWARE, DOOR SWEEP, HINGES, ETC OR ANY ITEM WITH A METALLIC FINISH TO REMAIN UNPAINTED EXISTING FINISH AS IS.

EXTERIOR OVERHEAD DOORS AND FRAMES SHALL BE PAINT 1.

FIELD PAINT FOR EXTERIOR STUCCO SHALL BE PAINT 1. REFER TO "COLOR" SHEETS.

ACCENT PAINT (A) FOR EXTERIOR STUCCO SHALL BE PAINT 2, REFER TO "COLOR" SHEETS.

(E) 4" METAL REVEAL SHALL BE PAINTED ACCORDING TO EXTERIOR COLOR KEY ON "COLOR" SHEETS.

(E) CAP FLASHING SHALL BE PAINT 2

BLACK STOREFRONT DOORS/ WINDOWS REMAIN AS IS

PAINT CONDUIT AND J BOXES TO MATCH ADJACENT WALL BEHIND.

DATE	BRWNCHKD	DSGN	APPD	TPK
08/29/24	PXC	TPK		

REVISION	ADDENDUM
NO	1

12213 REGISTERED ARCHITECT
 THOMAS P. KASTNER
 STATE OF WASHINGTON

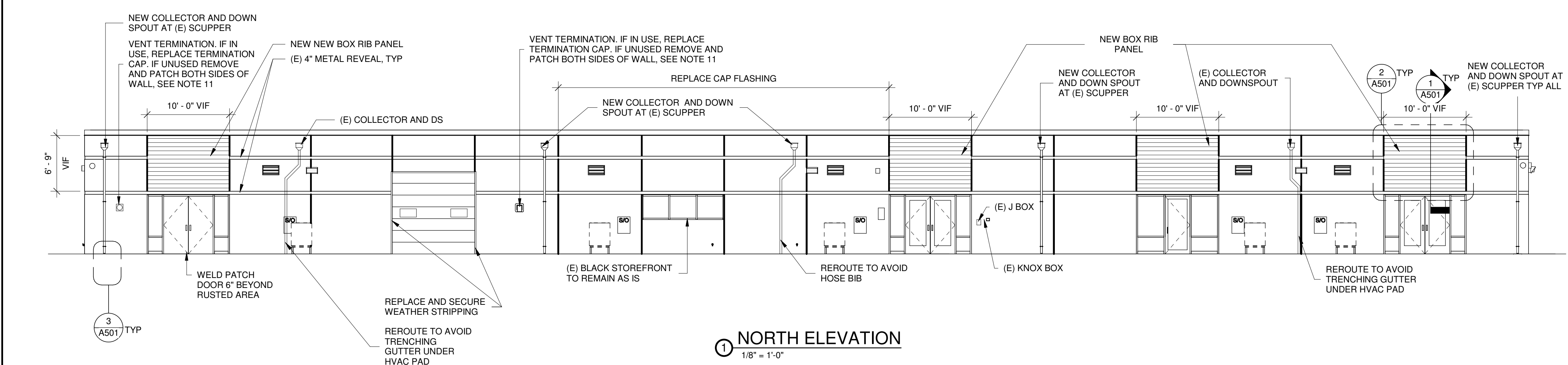
APPROVAL

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DESIGN	JM	07/29/2024
CHECKED	DRE	07/29/2024
APPROVED	TPK	07/29/2024

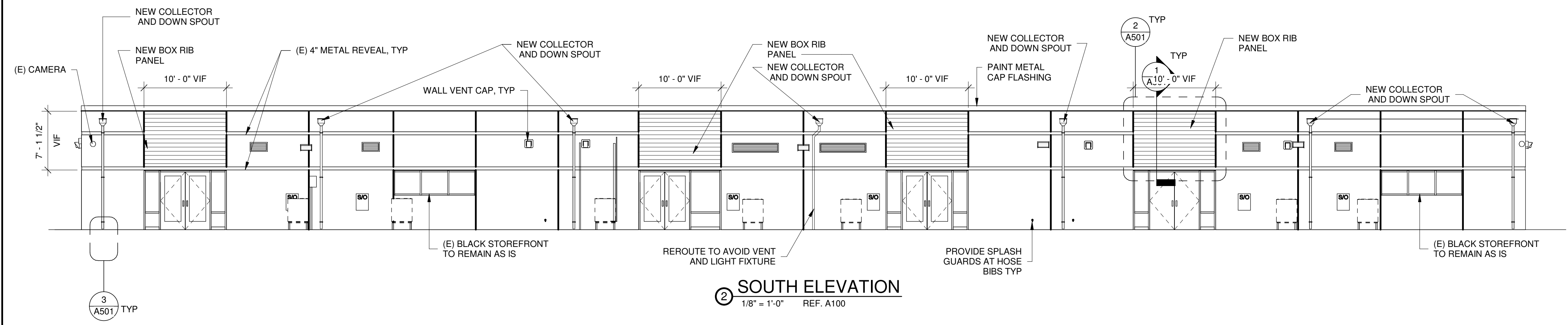
PORT OF KENNEWICK
415 N. ROOSEVELT FACADE IMPROVEMENTS
 415 N. ROOSEVELT ST., KENNEWICK, WA 99336
BLDG A EXT ELEVATIONS

DWG. NO.
A201
 SCALE: As indicated
 ISSUE DATE: 07/29/2024
 JOB NO.
9054

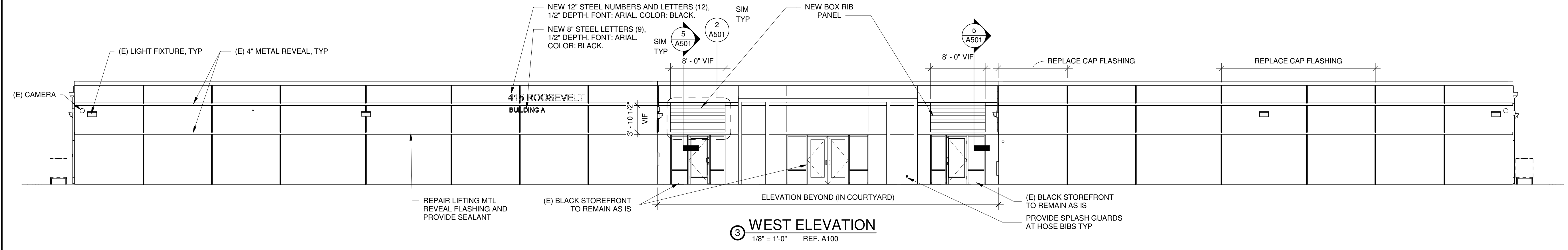
BASE BID - BUILDING A



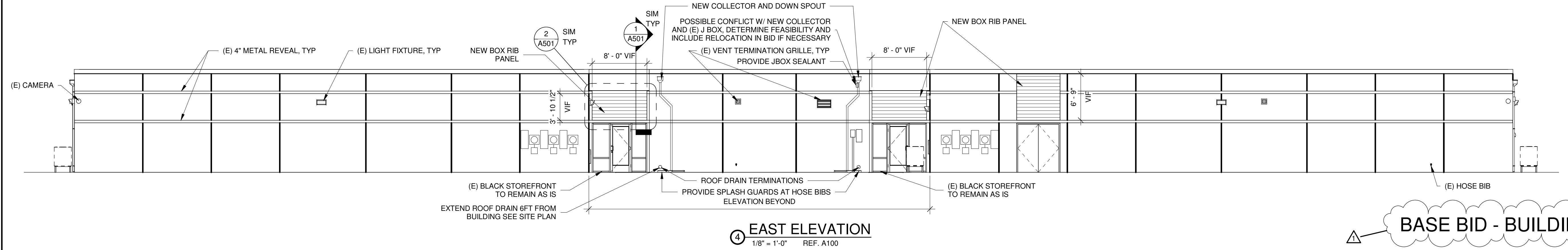
1 NORTH ELEVATION
 1/8" = 1'-0"



2 SOUTH ELEVATION
 1/8" = 1'-0" REF. A100



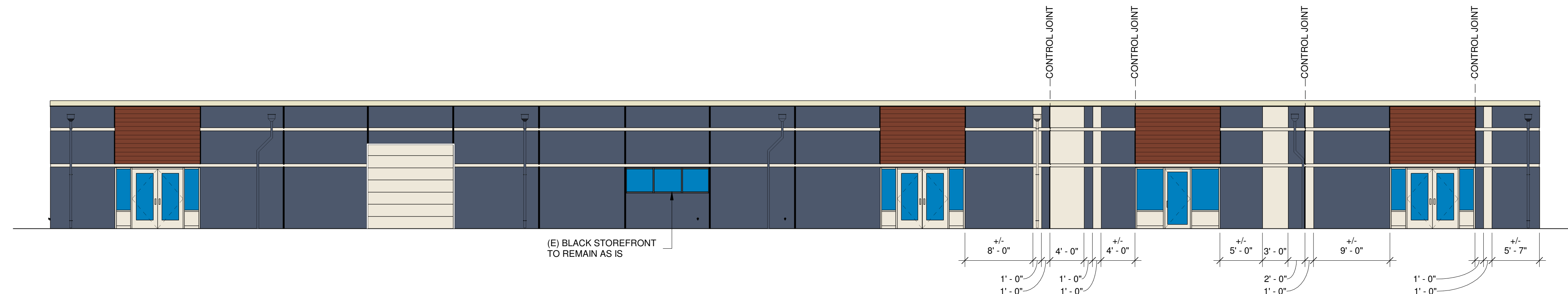
3 WEST ELEVATION
 1/8" = 1'-0" REF. A100



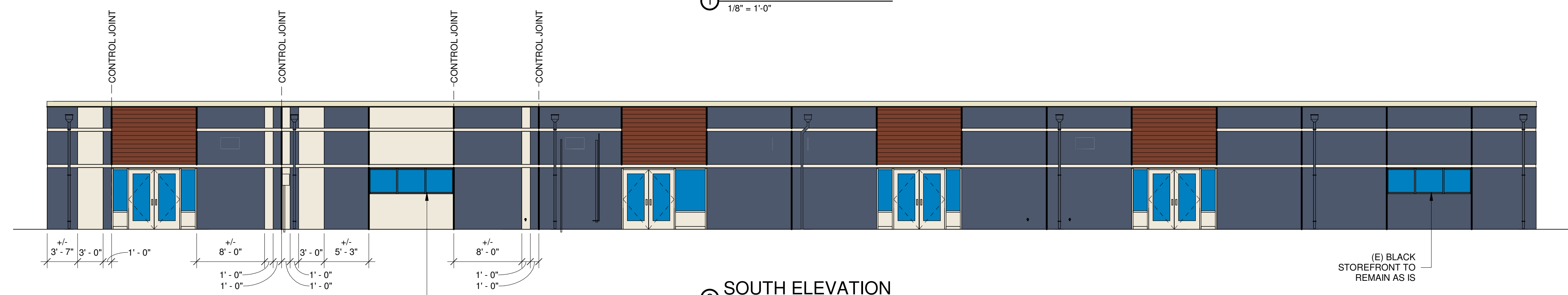
4 EAST ELEVATION
 1/8" = 1'-0" REF. A100

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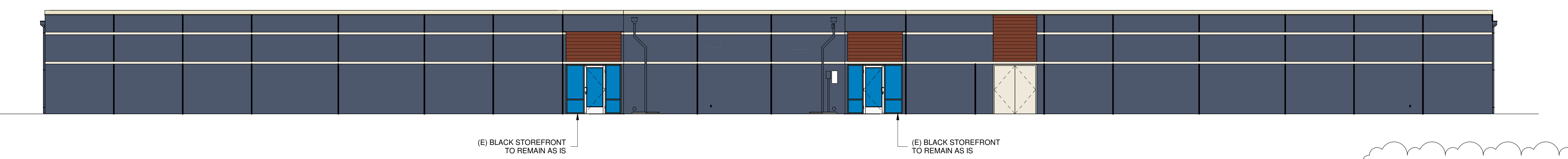
1 NORTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0" REF. A100



3 WEST ELEVATION
1/8" = 1'-0" REF. A100



4 EAST ELEVATION
1/8" = 1'-0" REF. A100

PROJECT SHEET NOTES

- FOR GENERAL NOTES AND LEGEND, REFER TO T001.
- IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS, CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- REFER TO WRITTEN SPECS AND SHEET A501 FOR EXTERIOR FINISH SPECIFICATIONS.
- INSTALL NEW COLLECTOR AND DOWNSPOUTS PER WRITTEN SPECS AT (E) SCUPPERS. ROUTE DOWNSPOUTS AS NEEDED TO AVOID LOCATING TRENCH DRAINS UNDER AC CONDENSER UNITS, OVER VENTS, LIGHT FIXTURES, OR ANY EXISTING EQUIPMENT OR FIXTURES ATTACHED TO THE WALL. PAINT TO MATCH ADJ WALL. SEE COLOR SHEETS
- REMOVE AND REPLACE SEALANT @ ALL MTL 4" REVEAL JOINT SEAMS

EXTERIOR FINISH NOTES

SEE EXTERIOR PAINT KEY AND LEGEND.

(E) EXTERIOR HM DOORS WITH AND WITHOUT SIDELITES, FRAMES AND SIDELITE FRAMES AND OPAQUE PANELS SHALL BE PAINT 1. EXCEPT (E) BLACK STOREFRONT DOORS AND WINDOWS. DOOR HARDWARE, DOOR SWEEP, HINGES, ETC OR ANY ITEM WITH A METALLIC FINISH TO REMAIN UNPAINTED EXISTING FINISH AS IS.

EXTERIOR OVERHEAD DOORS AND FRAMES SHALL BE PAINT 1.

FIELD PAINT FOR EXTERIOR STUCCO SHALL BE PAINT 1. REFER TO "COLOR" SHEETS.

ACCENT PAINT (A) FOR EXTERIOR STUCCO SHALL BE PAINT 2, REFER TO "COLOR" SHEETS.

(E) 4" METAL REVEAL SHALL BE PAINTED ACCORDING TO EXTERIOR COLOR KEY ON "COLOR" SHEETS.

(E) CAP FLASHING SHALL BE PAINT 2

BLACK STOREFRONT DOORS/ WINDOWS REMAIN AS IS

PAINT CONDUIT AND J BOXES TO MATCH ADJACENT WALL BEHIND.

EXTERIOR COLOR KEY

- SEE WRITTEN SPECS
- PAINT 1: FIELD PAINT - SW 6243 "DISTANCE" APPLIED ON SITE
 - PAINT 2: ACCENT PAINT - SW 6385 "DOVER WHITE" APPLIED ON SITE
 - METAL AEP SPAN BOX RIB - TERRACOTA
 - (E) STOREFRONT TO REMAIN AS IS
 - (E) GLAZING TO REMAIN AS IS

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DATE	BRW	CHKD	DSGN	APPD	TPK
08/29/24	PXC	TPK			
REVISION	ADDENDUM	NO	DESCRIPTION	DATE	
		1			

12213 REGISTERED ARCHITECT
THOMAS P. KASTNER
STATE OF WASHINGTON

APPROVAL

DRAWN	PXC	07/29/2024
DESIGN	JM	07/29/2024
CHECKED	DRE	07/29/2024
APPROVED	TPK	07/29/2024

PORT OF KENNEWICK
415 N. ROOSEVELT FACADE IMPROVEMENTS
 415 N. ROOSEVELT ST., KENNEWICK, WA 99336
BLDG A EXT ELEVATIONS COLOR

DWG. NO.
A201
COLOR
07/29/2024

JOB NO.
9054

REV.
1

BASE BID - BUILDING A

PROJECT SHEET NOTES

- FOR GENERAL NOTES AND LEGEND, REFER TO T001.
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- REMOVE AND REPLACE SEALANT @ ALL MTL 4" REVEAL JOINT SEAMS

EXTERIOR FINISH NOTES

SEE EXTERIOR PAINT KEY AND LEGEND.

(E) EXTERIOR HM DOORS WITH AND WITHOUT SIDELITES, FRAMES AND SIDELITE FRAMES AND OPAQUE PANELS SHALL BE PAINT 1. EXCEPT (E) BLACK STOREFRONT DOORS AND WINDOWS. DOOR HARDWARE, DOOR SWEEP, HINGES, ETC OR ANY ITEM WITH A METALLIC FINISH TO REMAIN UNPAINTED EXISTING FINISH AS IS.

EXTERIOR OVERHEAD DOORS AND FRAMES SHALL BE PAINT 1.

FIELD PAINT FOR EXTERIOR STUCCO SHALL BE PAINT 1. REFER TO "COLOR" SHEETS.

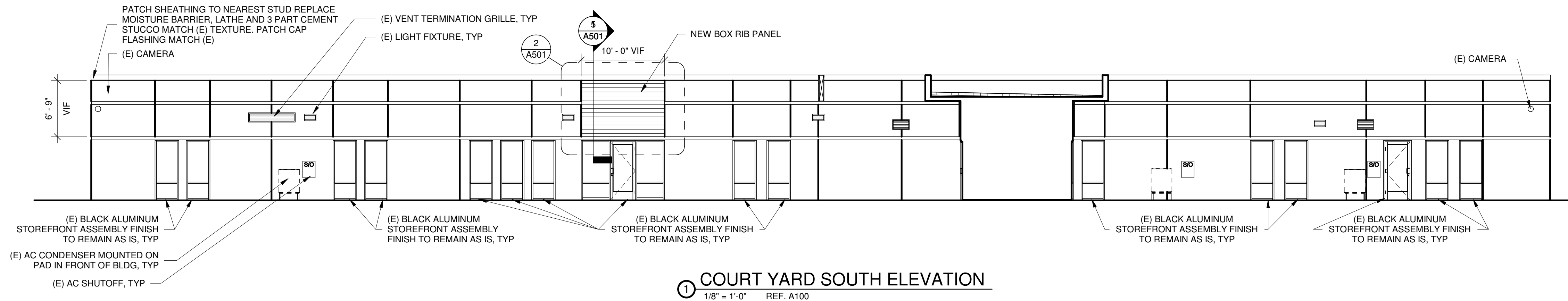
ACCENT PAINT (A) FOR EXTERIOR STUCCO SHALL BE PAINT 2, REFER TO "COLOR" SHEETS.

(E) 4" METAL REVEAL SHALL BE PAINTED ACCORDING TO EXTERIOR COLOR KEY ON "COLOR" SHEETS.

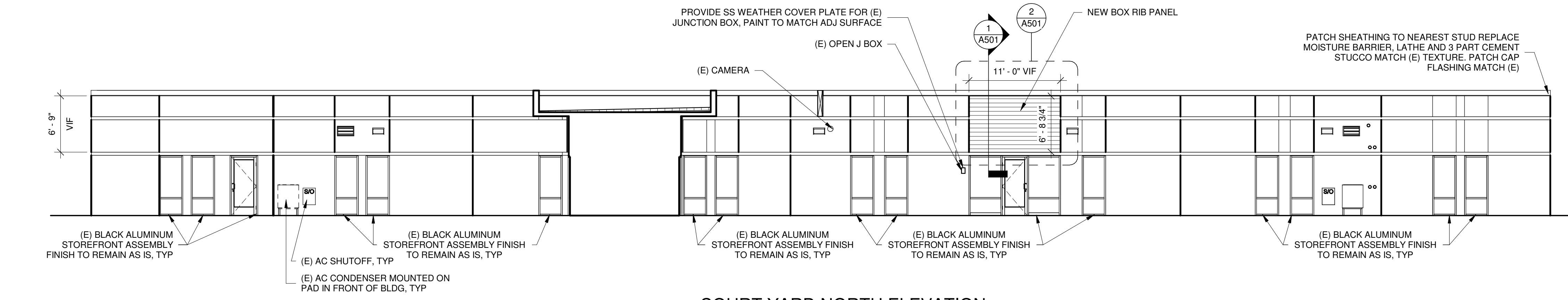
(E) CAP FLASHING SHALL BE PAINT 2

BLACK STOREFRONT DOORS/ WINDOWS REMAIN AS IS

PAINT CONDUIT AND J BOXES TO MATCH ADJACENT WALL BEHIND.



1 COURT YARD SOUTH ELEVATION
 1/8" = 1'-0" REF. A100



2 COURT YARD NORTH ELEVATION
 1/8" = 1'-0" REF. A100

DATE	BRWNCHKD	DSGN	APPD	TPK
08/29/24	PXC	TPK		

REVISION	ADDENDUM

NO
1

12213 REGISTERED ARCHITECT
 THOMAS P. KASTNER
 STATE OF WASHINGTON

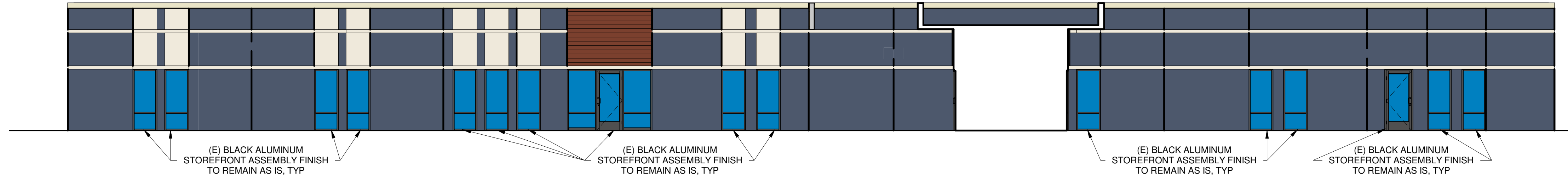
APPROVAL

DRAWN	PXC	07/29/2024
DESIGN	JM	07/29/2024
CHECKED	DRE	07/29/2024
APPROVED	TPK	07/29/2024

PORT OF KENNEWICK
415 N. ROOSEVELT FACADE IMPROVEMENTS
 415 N. ROOSEVELT ST., KENNEWICK, WA 99336
BLDG A EXT ELEVATIONS

DWG. NO.
A202
 SCALE: As indicated
 ISSUE DATE: 07/29/2024
 JOB NO.
9054
 REV.
1

BASE BID - BUILDING A



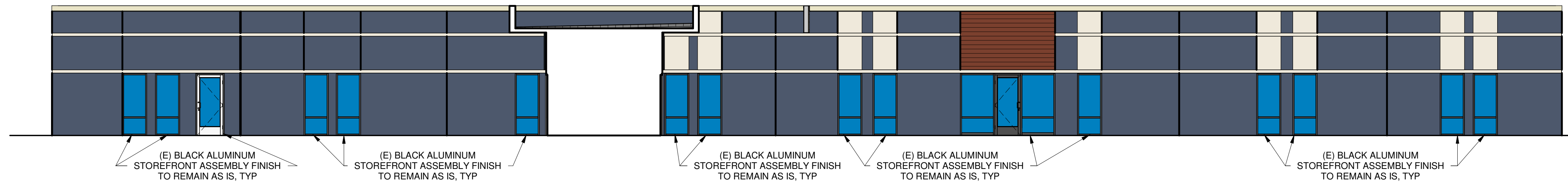
(E) BLACK ALUMINUM STOREFRONT ASSEMBLY FINISH TO REMAIN AS IS, TYP

(E) BLACK ALUMINUM STOREFRONT ASSEMBLY FINISH TO REMAIN AS IS, TYP

(E) BLACK ALUMINUM STOREFRONT ASSEMBLY FINISH TO REMAIN AS IS, TYP

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① COURT YARD SOUTH ELEVATION
1/8" = 1'-0" REF. A100



(E) BLACK ALUMINUM STOREFRONT ASSEMBLY FINISH TO REMAIN AS IS, TYP

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(E) BLACK ALUMINUM STOREFRONT ASSEMBLY FINISH TO REMAIN AS IS, TYP

(E) BLACK ALUMINUM STOREFRONT ASSEMBLY FINISH TO REMAIN AS IS, TYP

② COURT YARD NORTH ELEVATION
1/8" = 1'-0" REF. A100

PROJECT SHEET NOTES

1. FOR GENERAL NOTES AND LEGEND, REFER TO T001.
2. IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS, CONTRACTOR SHALL NOTIFY THE ARCHITECT.
3. REFER TO WRITTEN SPECS AND SHEET A501 FOR EXTERIOR FINISH SPECIFICATIONS.
4. INSTALL NEW COLLECTOR AND DOWNSPOUTS PER WRITTEN SPECS AT (E) SCUPPERS. ROUTE DOWNSPOUTS AS NEEDED TO AVOID LOCATING TRENCH DRAINS UNDER AC CONDENSER UNITS, OVER VENTS, LIGHT FIXTURES, OR ANY EXISTING EQUIPMENT OR FIXTURES ATTACHED TO THE WALL. PAINT TO MATCH ADJ WALL. SEE COLOR SHEETS
5. REMOVE AND REPLACE SEALANT @ ALL MTL 4" REVEAL JOINT SEAMS

EXTERIOR FINISH NOTES

SEE EXTERIOR PAINT KEY AND LEGEND.

(E) EXTERIOR HM DOORS WITH AND WITHOUT SIDELITES, FRAMES AND SIDELITE FRAMES AND OPAQUE PANELS SHALL BE PAINT 1. EXCEPT (E) BLACK STOREFRONT DOORS AND WINDOWS. DOOR HARDWARE, DOOR SWEEP, HINGES, ETC OR ANY ITEM WITH A METALLIC FINISH TO REMAIN UNPAINTED EXISTING FINISH AS IS.

EXTERIOR OVERHEAD DOORS AND FRAMES SHALL BE PAINT 1.

FIELD PAINT FOR EXTERIOR STUCCO SHALL BE PAINT 1. REFER TO "COLOR" SHEETS.

ACCENT PAINT (A) FOR EXTERIOR STUCCO SHALL BE PAINT 2, REFER TO "COLOR" SHEETS.

(E) 4" METAL REVEAL SHALL BE PAINTED ACCORDING TO EXTERIOR COLOR KEY ON "COLOR" SHEETS.

(E) CAP FLASHING SHALL BE PAINT 2

BLACK STOREFRONT DOORS/ WINDOWS REMAIN AS IS

PAINT CONDUIT AND J BOXES TO MATCH ADJACENT WALL BEHIND.

EXTERIOR COLOR KEY

SEE WRITTEN SPECS

	PAINT 1: FIELD PAINT - SW 6243 "DISTANCE" APPLIED ON SITE
	PAINT 2: ACCENT PAINT - SW 6385 "DOVER WHITE" APPLIED ON SITE
	METAL AEP SPAN BOX RIB - TERRACOTA
	(E) STOREFRONT TO REMAIN AS IS
	(E) GLAZING TO REMAIN AS IS

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DATE	BRWNCHKD	DSGN	APPD
08/29/24	PXC	TPK	TPK
REVISION	ADDENDUM	NO	DESCRIPTION
		1	

12213 REGISTERED ARCHITECT
THOMAS P. KASTNER
STATE OF WASHINGTON

APPROVAL

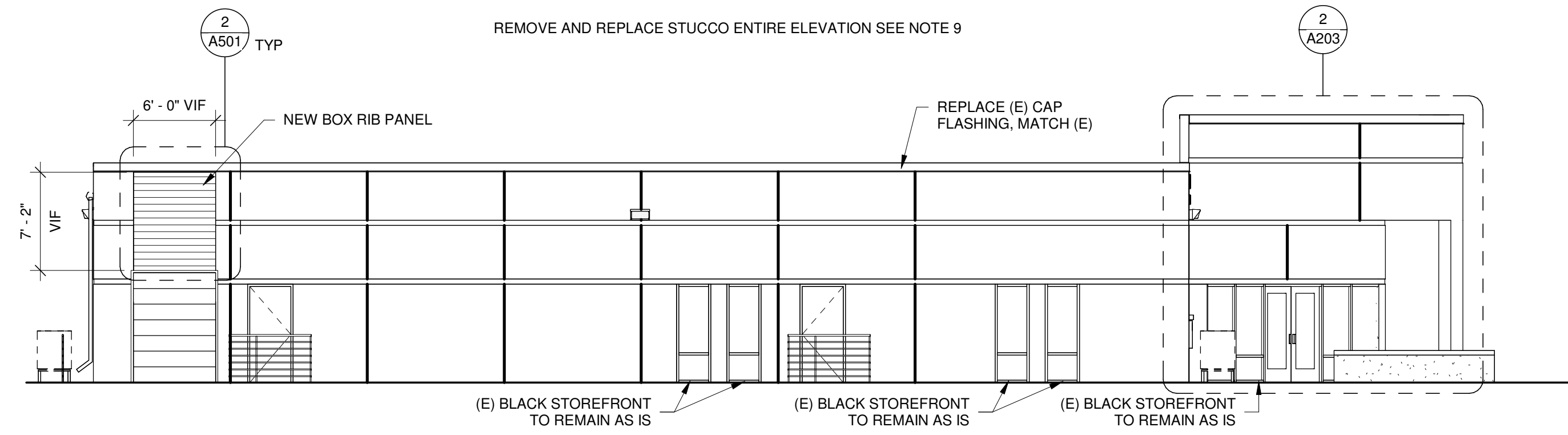
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DESIGN	JM	07/29/2024
CHECKED	DRE	07/29/2024
APPROVED	TPK	07/29/2024

PORT OF KENNEWICK
415 N. ROOSEVELT FACADE IMPROVEMENTS
415 N. ROOSEVELT ST., KENNEWICK, WA 99336
BLDG A EXT ELEVATIONS COLOR

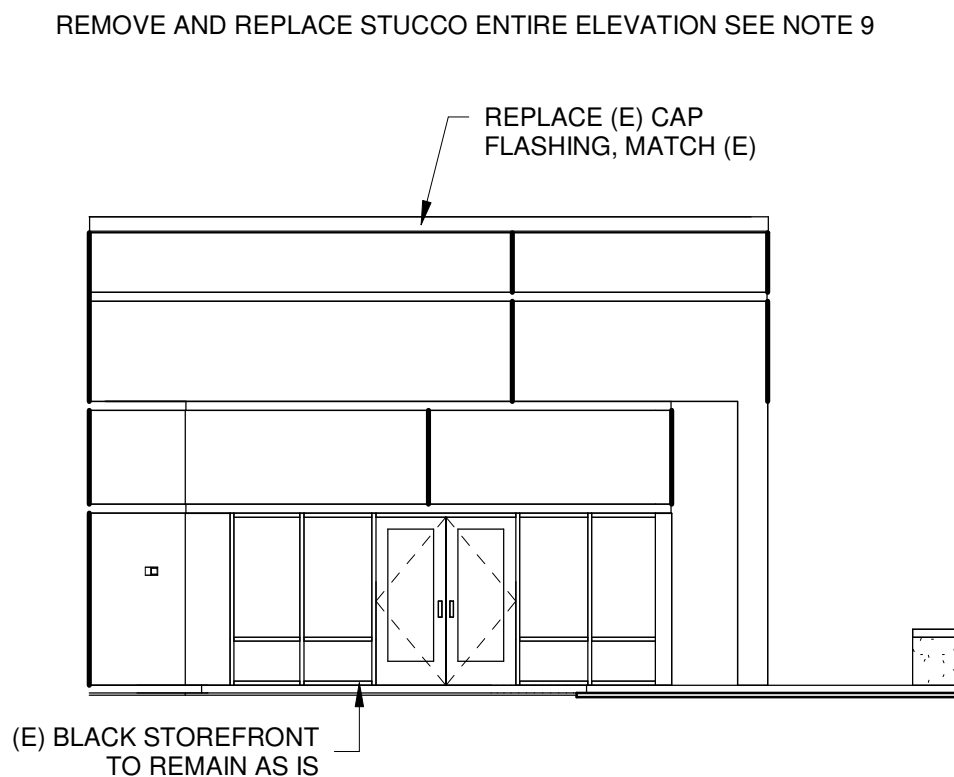
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A202
COLOR
07/29/2024
JOB NO.
9054
REV.
1

BASE BID - BUILDING A

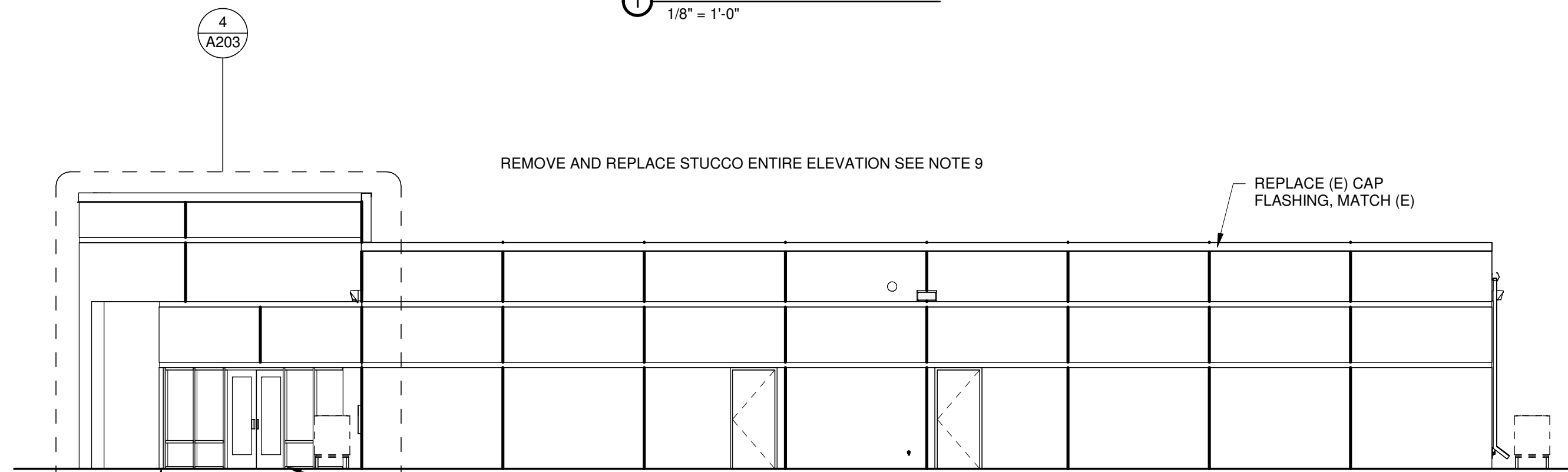
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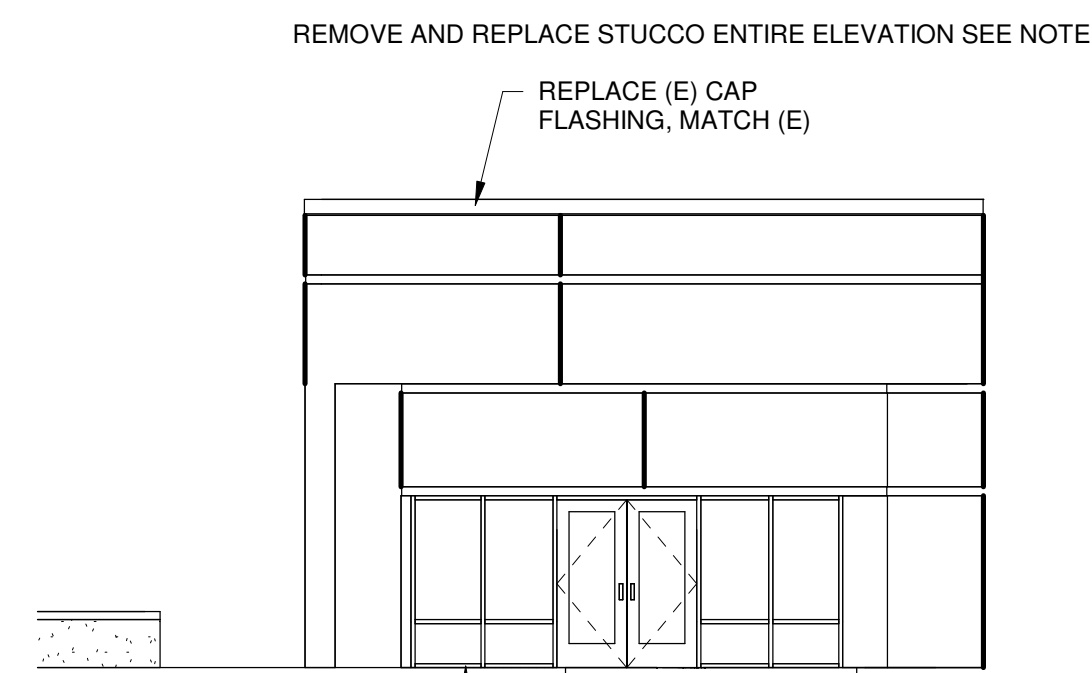
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1/8" = 1'-0"



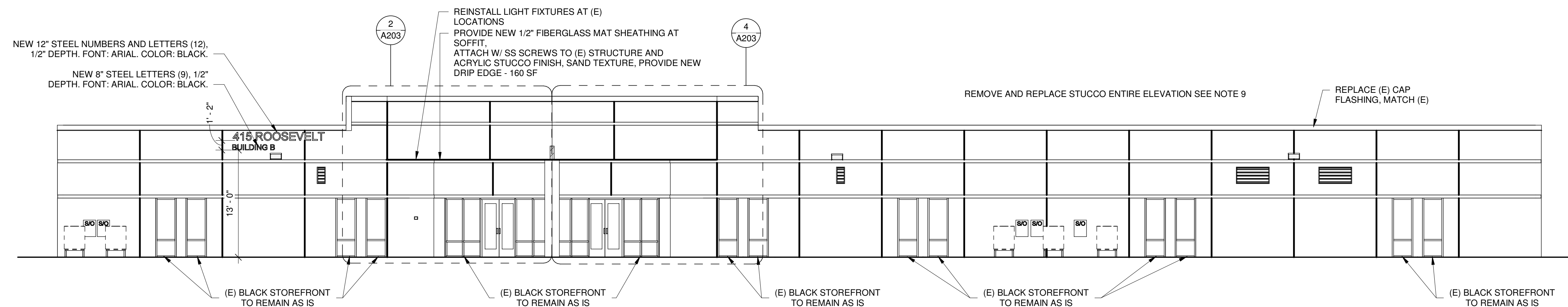
2 NORTH ELEVATION ENTRY
1/8" = 1'-0"



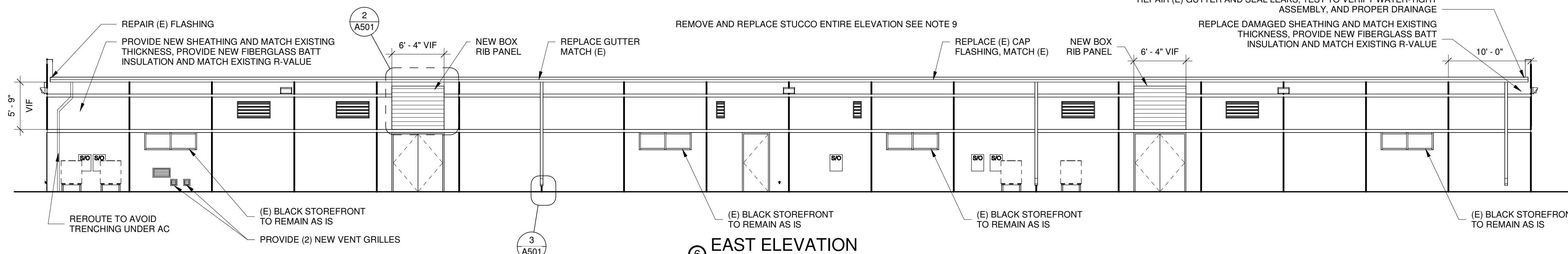
3 SOUTH ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION ENTRY
1/8" = 1'-0"



5 WEST ELEVATION
1/8" = 1'-0"



6 EAST ELEVATION
1/8" = 1'-0"

PROJECT SHEET NOTES

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- REMOVE AND REPLACE SEALANT @ ALL MTL 4" REVEAL JOINT SEAMS

EXTERIOR FINISH NOTES

SEE EXTERIOR PAINT KEY AND LEGEND.

(E) EXTERIOR HM DOORS WITH AND WITHOUT SIDELITES, FRAMES AND SIDELITE FRAMES AND OPAQUE PANELS SHALL BE PAINT 1. EXCEPT (E) BLACK STOREFRONT DOORS AND WINDOWS. DOOR HARDWARE, DOOR SWEEP, HINGES, ETC OR ANY ITEM WITH A METALLIC FINISH TO REMAIN UNPAINTED EXISTING FINISH AS IS.

EXTERIOR OVERHEAD DOORS AND FRAMES SHALL BE PAINT 1.

FIELD PAINT FOR EXTERIOR STUCCO SHALL BE PAINT 1. REFER TO "COLOR" SHEETS.

ACCENT PAINT (A) FOR EXTERIOR STUCCO SHALL BE PAINT 2, REFER TO "COLOR" SHEETS.

(E) 4" METAL REVEAL SHALL BE PAINTED ACCORDING TO EXTERIOR COLOR KEY ON "COLOR" SHEETS.

(E) CAP FLASHING SHALL BE PAINT 2

BLACK STOREFRONT DOORS/ WINDOWS REMAIN AS IS

PAINT CONDUIT AND J BOXES TO MATCH ADJACENT WALL BEHIND.

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DATE	DRWN	CHKD	DSGN	APPD	TPK
08/29/24	PXC	TPK			

NO	REVISION	ADDENDUM
1		

12213 REGISTERED ARCHITECT
THOMAS P. KASTNER
STATE OF WASHINGTON

APPROVAL

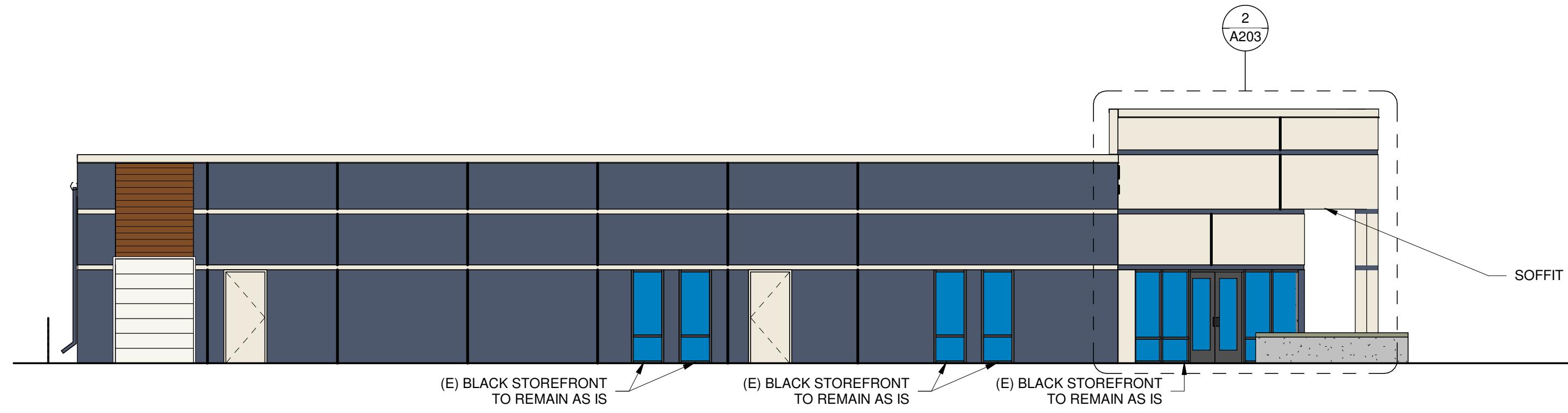
DRAWN	PXC	07/29/2024
DESIGN	JM	07/29/2024
CHECKED	DRE	07/29/2024
APPROVED	TPK	07/29/2024

PORT OF KENNEWICK
415 N. ROOSEVELT FACADE IMPROVEMENTS
415 N. ROOSEVELT ST., KENNEWICK, WA 99336
BLDG B EXT ELEVATIONS

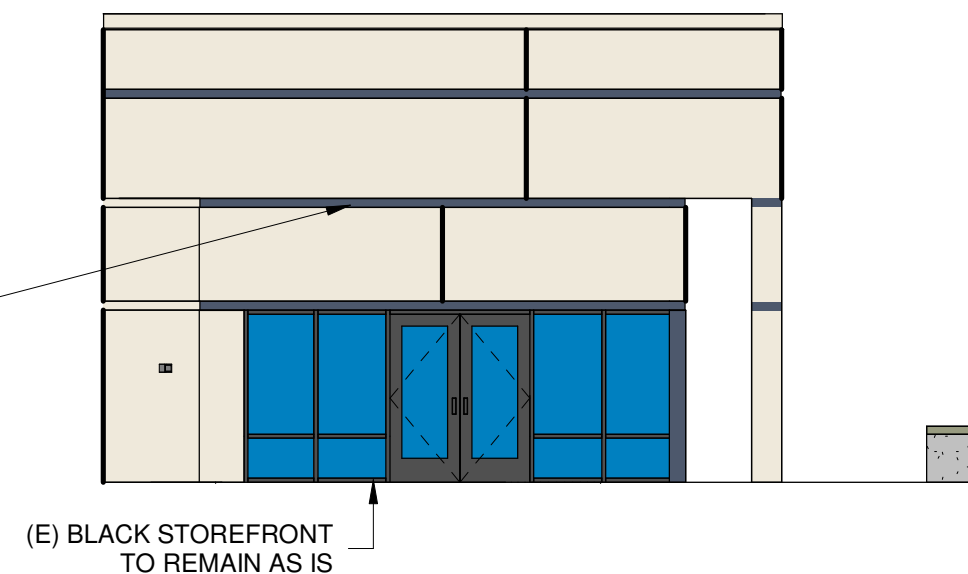
DWG. NO.
A203
SCALE: As indicated
ISSUE DATE: 07/29/2024
JOB NO.
9054
REV.
1

ALTERNATE 1 - BUILDING B

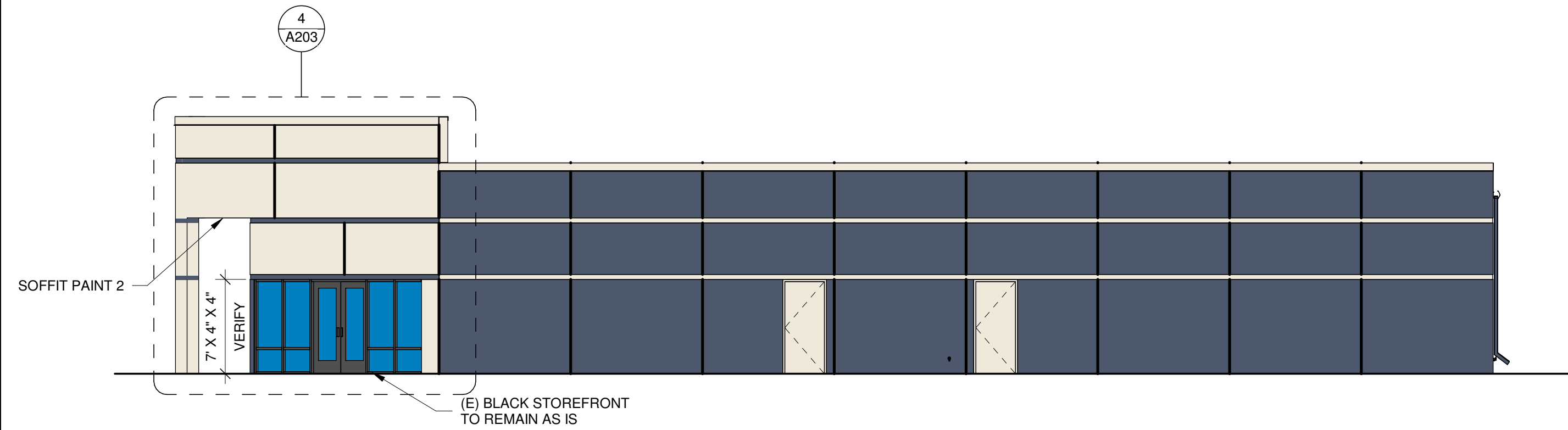
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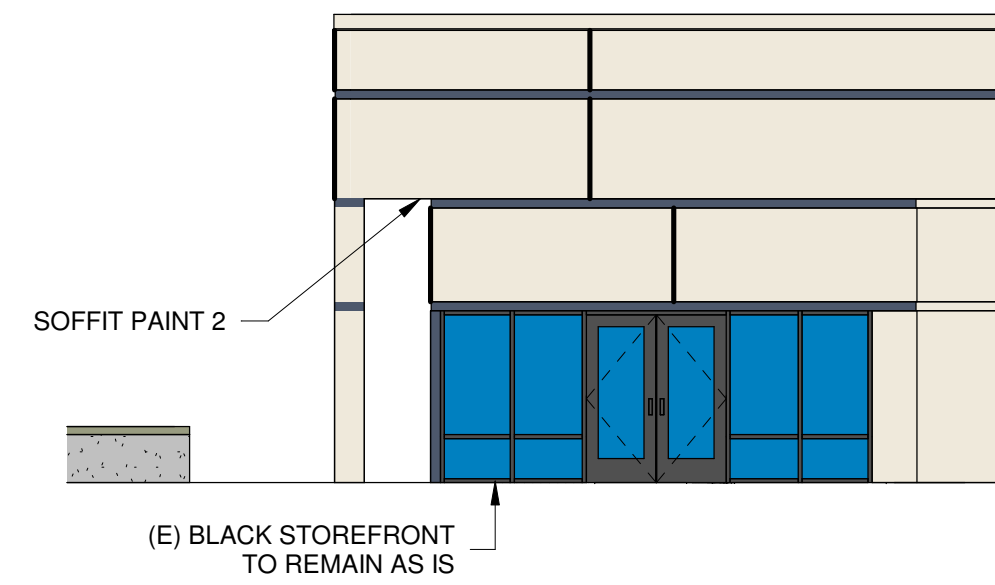
1 NORTH ELEVATION
1/8" = 1'-0"



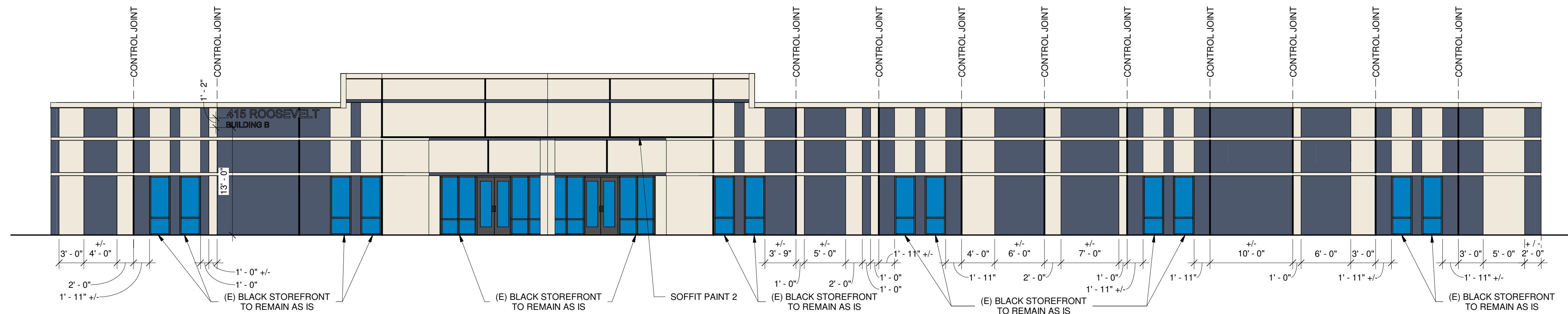
2 NORTH ELEVATION ENTRY
1/8" = 1'-0"



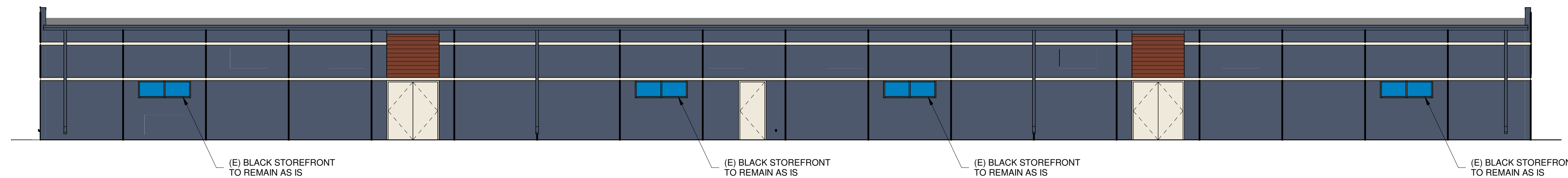
3 SOUTH ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION ENTRY
1/8" = 1'-0"



5 WEST ELEVATION
1/8" = 1'-0"



6 EAST ELEVATION
1/8" = 1'-0"

PROJECT SHEET NOTES

- FOR GENERAL NOTES AND LEGEND, REFER TO T001.
- IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS, CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- REFER TO WRITTEN SPECS AND SHEET A501 FOR EXTERIOR FINISH SPECIFICATIONS.
- INSTALL NEW COLLECTOR AND DOWNSPOUTS PER WRITTEN SPECS AT (E) SCUPPERS. ROUTE DOWNSPOUTS AS NEEDED TO AVOID LOCATING TRENCH DRAINS UNDER AC CONDENSER UNITS, OVER VENTS, LIGHT FIXTURES, OR ANY EXISTING EQUIPMENT OR FIXTURES ATTACHED TO THE WALL. PAINT TO MATCH ADJ WALL. SEE COLOR SHEETS.
- REMOVE AND REPLACE SEALANT @ ALL MTL 4" REVEAL JOINT SEAMS

EXTERIOR FINISH NOTES

SEE EXTERIOR PAINT KEY AND LEGEND.

(E) EXTERIOR HM DOORS WITH AND WITHOUT SIDELITES, FRAMES AND SIDELITE FRAMES AND OPAQUE PANELS SHALL BE PAINT 1. EXCEPT (E) BLACK STOREFRONT DOORS AND WINDOWS. DOOR HARDWARE, DOOR SWEEP, HINGES, ETC OR ANY ITEM WITH A METALLIC FINISH TO REMAIN UNPAINTED EXISTING FINISH AS IS.

EXTERIOR OVERHEAD DOORS AND FRAMES SHALL BE PAINT 1.

FIELD PAINT FOR EXTERIOR STUCCO SHALL BE PAINT 1. REFER TO "COLOR" SHEETS.

ACCENT PAINT (A) FOR EXTERIOR STUCCO SHALL BE PAINT 2, REFER TO "COLOR" SHEETS.

(E) 4" METAL REVEAL SHALL BE PAINTED ACCORDING TO EXTERIOR COLOR KEY ON "COLOR" SHEETS.

(E) CAP FLASHING SHALL BE PAINT 2

BLACK STOREFRONT DOORS/ WINDOWS REMAIN AS IS

PAINT CONDUIT AND J BOXES TO MATCH ADJACENT WALL BEHIND.

EXTERIOR COLOR KEY

SEE WRITTEN SPECS

- PAINT 1: FIELD PAINT - SW 6243 "DISTANCE" APPLIED ON SITE
- PAINT 2: ACCENT PAINT - SW 6385 "DOVER WHITE" APPLIED ON SITE
- METAL AEP SPAN BOX RIB - TERRACOTA
- (E) STOREFRONT TO REMAIN AS IS
- (E) GLAZING TO REMAIN AS IS

Meier
ARCHITECTURE + ENGINEERING
12 W. Kennebec Ave.,
Kennebec, WA 99336
P: 509.735.1589
F: 509.788.5075
www.meierinc.com

DATE	BRWNCHKD	DSGN	APPD	TPK
08/29/24	PXC	TPK		

REVISION	ADDENDUM

NO	DATE	BY	DESCRIPTION
1			

12213 REGISTERED ARCHITECT
Thomas P. Kastner
THOMAS P. KASTNER
STATE OF WASHINGTON

APPROVAL

DRAWN	PXC	07/29/2024
DESIGN	JM	07/29/2024
CHECKED	DRE	07/29/2024
APPROVED	TPK	07/29/2024

PORT OF KENNEBECK
415 N. ROOSEVELT FACADE IMPROVEMENTS
415 N. ROOSEVELT ST., KENNEBECK, WA 99336
BLDG B EXT ELEVATIONS COLOR

DWG. NO.
A203
COLOR
07/29/2024
JOB NO.
9054
REV.
1

ALTERNATE 1 - BUILDING B

NO.	REVISION	DATE	BY	CHKD	DSGN	APPD

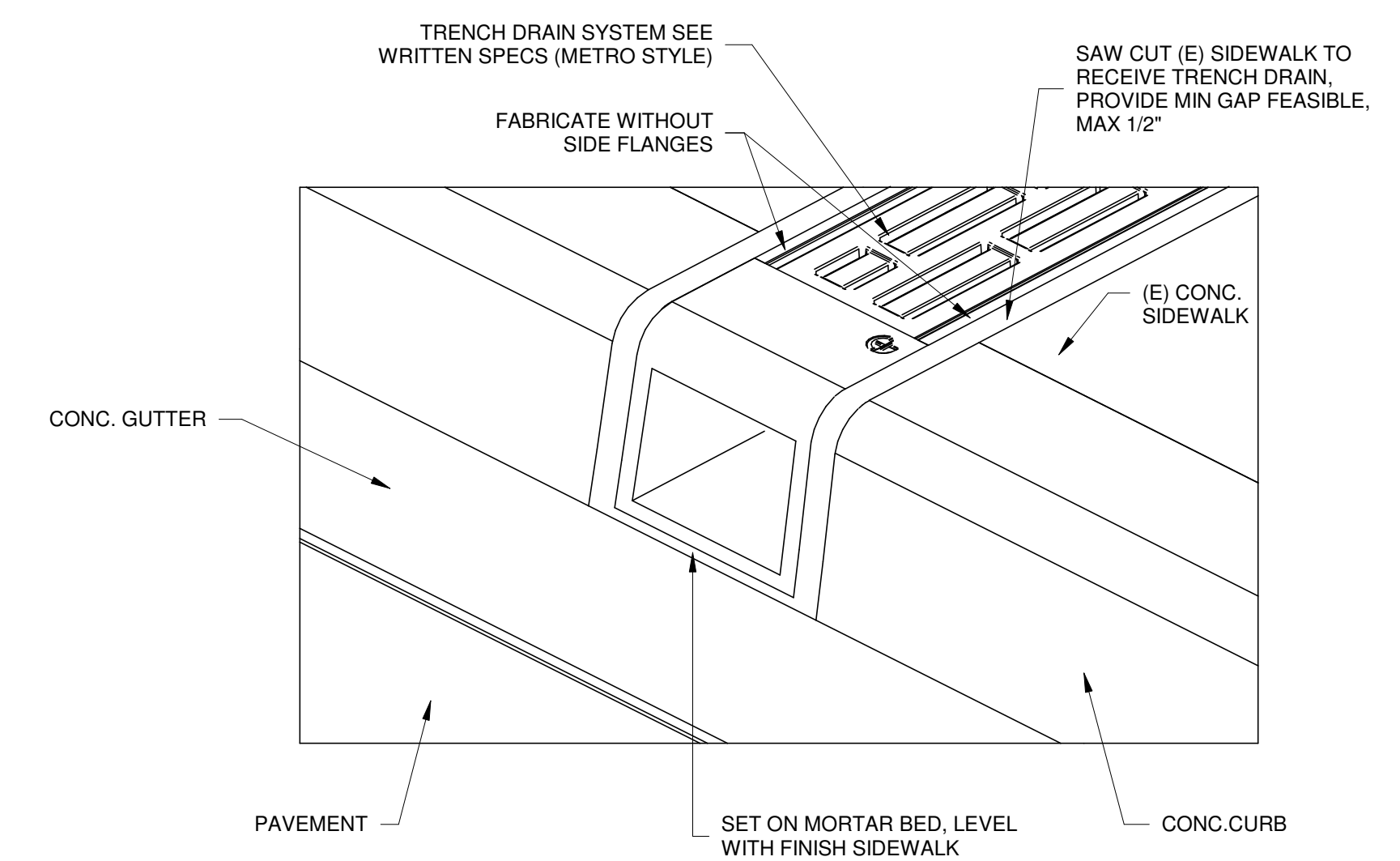
12213 REGISTERED ARCHITECT
 THOMAS P. KASTNER
 STATE OF WASHINGTON

APPROVAL		
DRAWN	PXC	07/29/2024
DESIGN	JM	07/29/2024
CHECKED	DRE	07/29/2024
APPROVED	TPK	07/29/2024

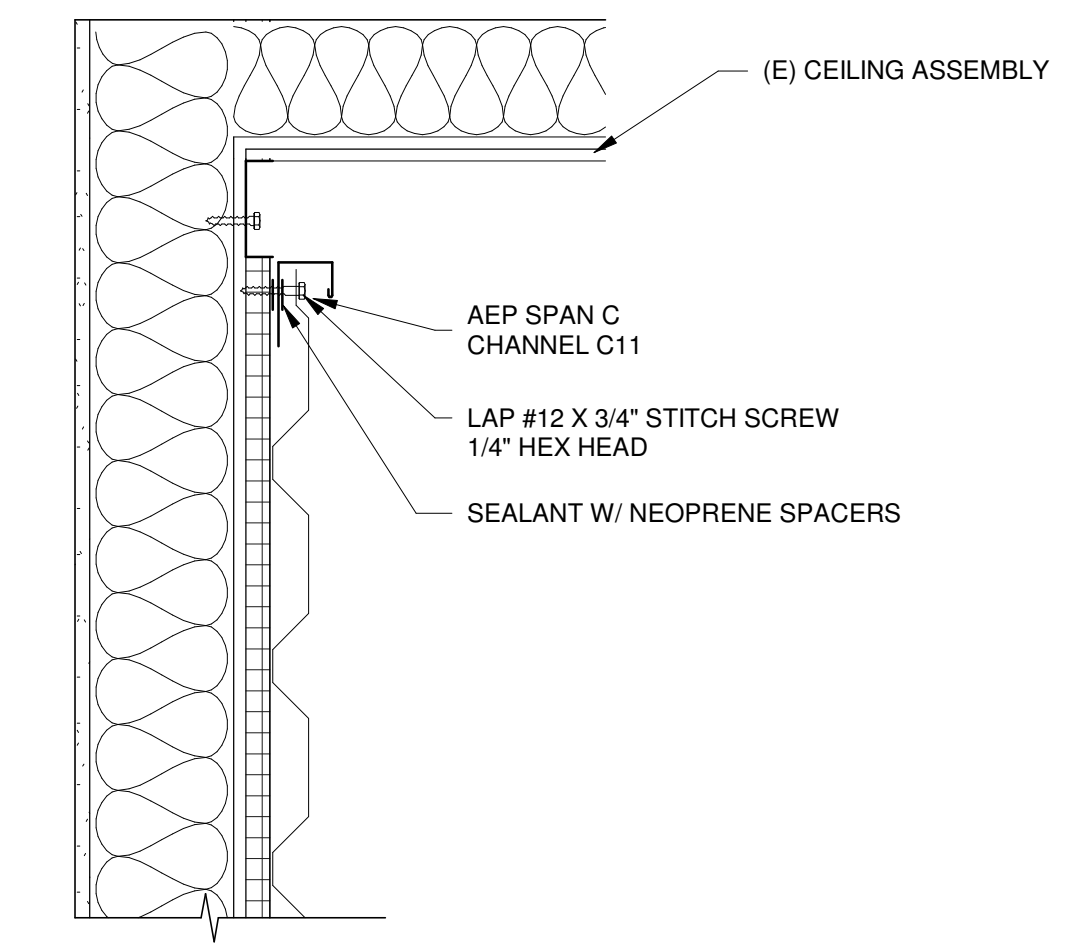
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415 N. ROOSEVELT FACADE IMPROVEMENTS
 415 N. ROOSEVELT ST., KENNEWICK, WA 99336

DETAILS

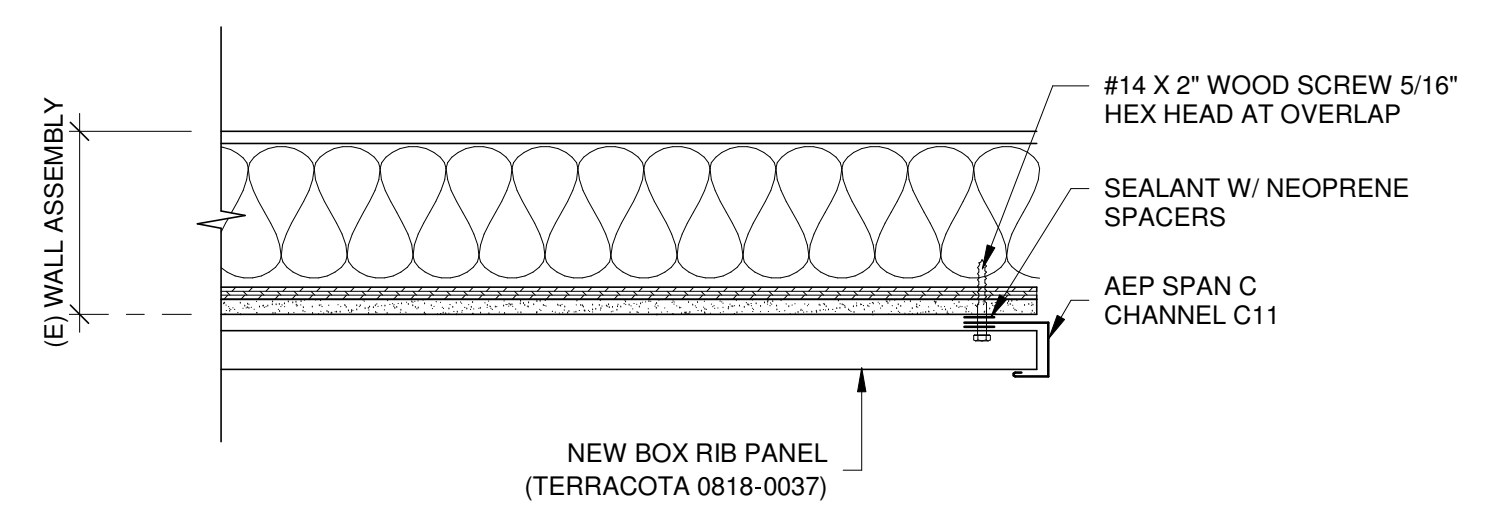
DWG. NO.
A501
 SCALE: As indicated
 ISSUE DATE: 07/29/2024
 JOB NO.
9054



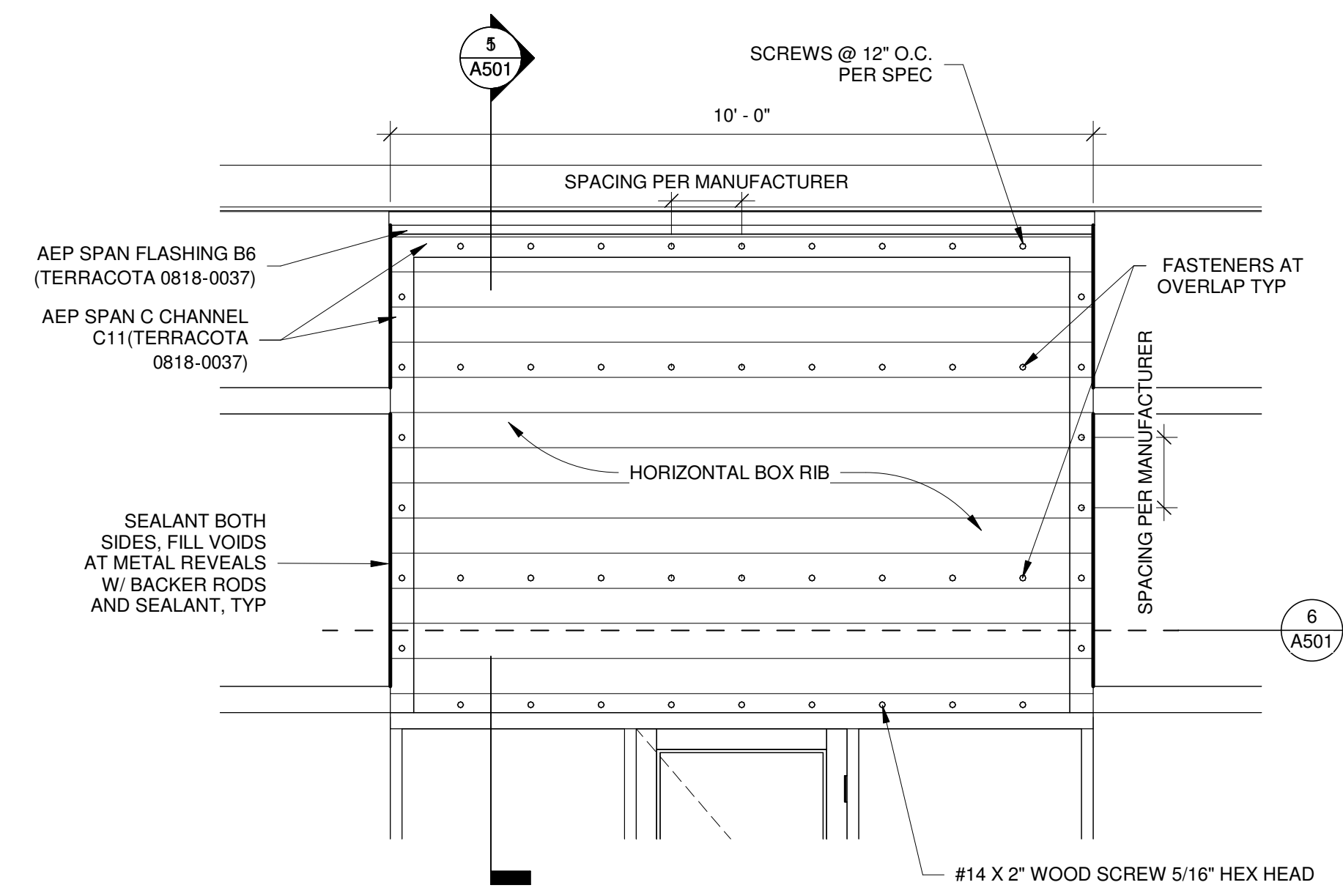
3 CURB DETAIL
 6" = 1'-0"



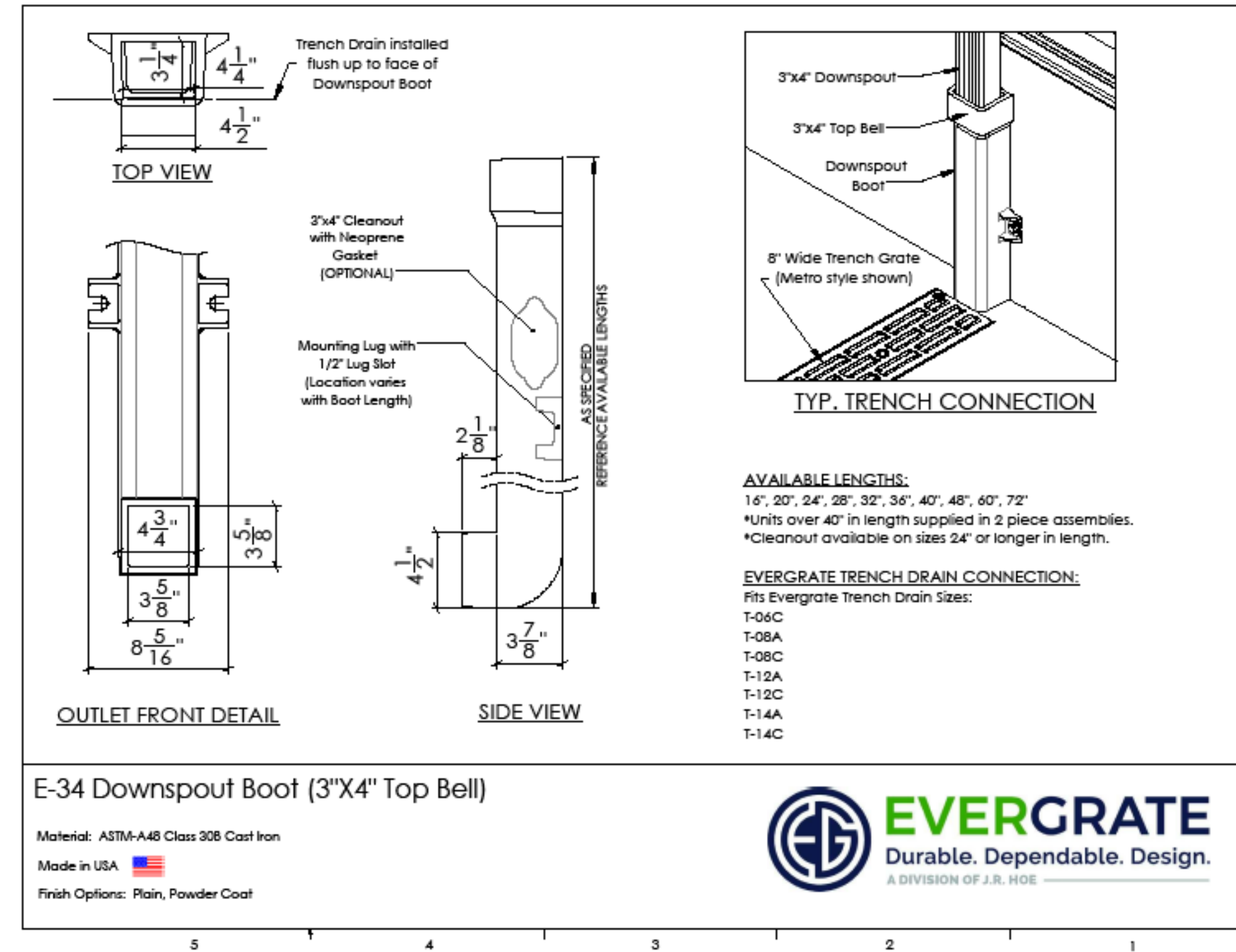
5 (E) WALL ASSEMBLY SECTION
 1 1/2" = 1'-0"



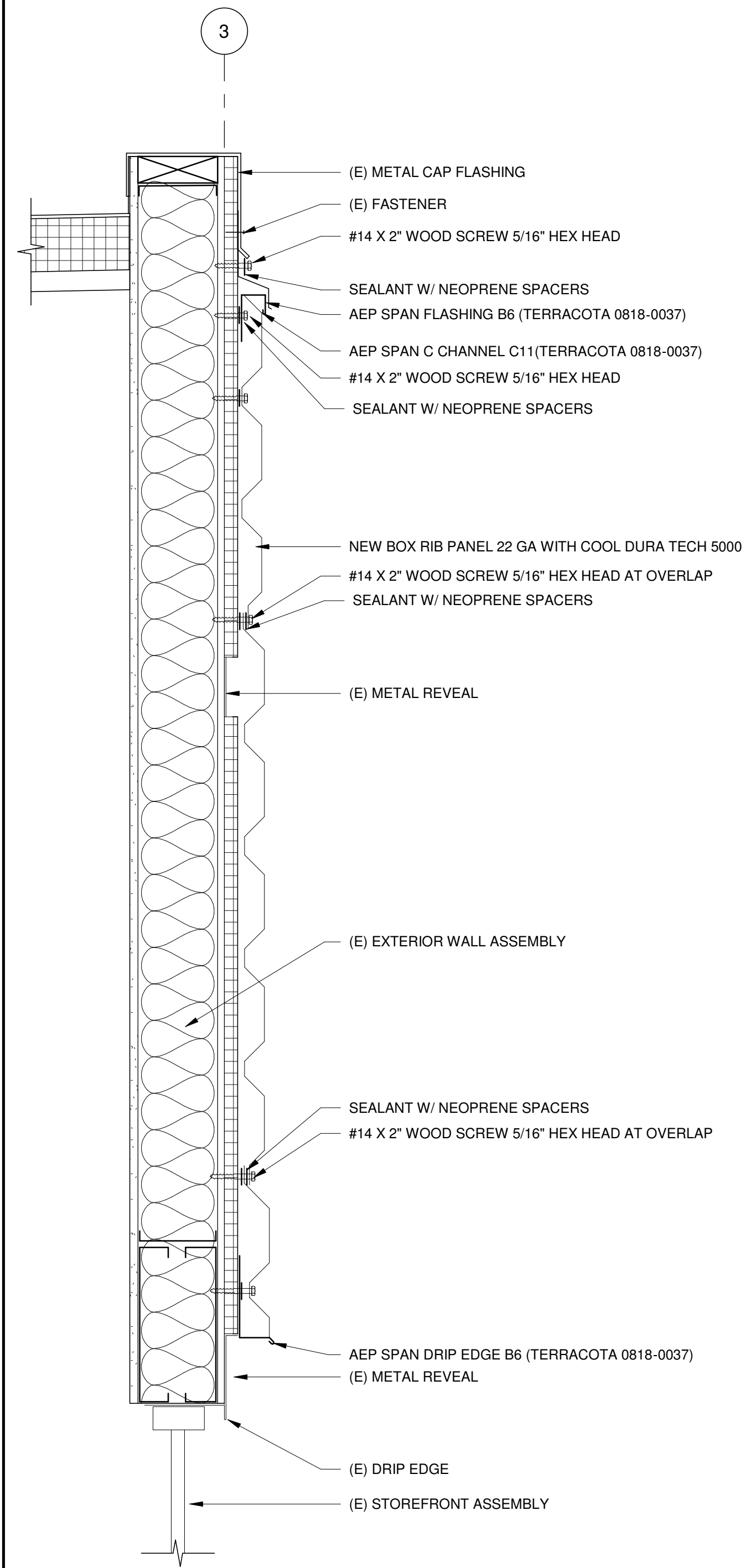
6 (E) WALL ASSEMBLY
 1 1/2" = 1'-0"



2 BOX RIB METAL PANEL ELEVATION
 1/2" = 1'-0" REF. A201



DOWNSPOUT BOOT DETAIL



1 BOX RIB METAL PANEL SECTION
 1 1/2" = 1'-0" REF. A104

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