

**PORT OF KENNEWICK – 415 N. ROOSEVELT A&B
FAÇADE IMPROVEMENTS**

ADDENDUM NO. 1

August 29, 2024

Architect:

Meier Architecture – Engineering
Thomas Kastner
(509) 735-1589
12 W. Kennewick Ave.
Kennewick WA 99336

Owner:

Port of Kennewick
Amber Hanchette
(509) 586-1186
350 Clover Island Drive, Suite 200
Kennewick, WA 99336

415 N. ROOSEVELT A&B FAÇADE IMPROVEMENTS

To: All Holders of the Bidding Documents, Contract Specifications, and Construction Drawings

This Addendum forms a part of the Contract Documents and modifies the Bidding Documents, Contract Specifications, and Construction Drawings for the opening date of **September 12, 2024**.

Acknowledge receipt of this addendum in SECTION 004110 – BID FORM. Failure to do so may subject the Bidder to disqualification. This addendum consists of:

7 Pages of text (including this cover sheet)

1 Drawing Set (12 pages)

NOTE: This addendum is issued to update and/or replace contractor documents prepared with formatting inconsistencies and duplication/omission of segments of the Specifications Manual.

Prepared by: Amber Hanchette, Director of Real Estate – Port of Kennewick

PORT OF KENNEWICK – 415 N. ROOSEVELT A&B FAÇADE IMPROVEMENTS

ADDENDUM NO. 1

REVISIONS TO CONTRACT DOCUMENTS

LEGAL DOCUMENTS

1. Section 001130 – INVITATION FOR BIDS

a. The project consists of two parts.

i) Base bid – 415 N. Roosevelt Building A, Kennewick

General Scope of Work: Demolition of an overhead beam. Repair and replacement of all damaged portions of Portland cement exterior stucco. Installation of new conductors and down spouts. Saw cutting of concrete sidewalks and installing pre-manufactured trench drains to the curb. Installation of accent metal box rib wall panels and flashing, and exterior paint. Follow details on drawings.

ii) Alternate #1 – 415 N. Roosevelt Building B, Kennewick

General Scope of Work: Remove and replace Portland cement exterior stucco. Remove and replace soffit boards. Install new conductors and down spouts. Installation of accent metal box rib wall panels and flashing, and exterior paint. Follow details on drawings.

2. Section 004110 – BID FORM

a. Base bid and Alternate. Base bid - 415 N. Roosevelt Building A, Kennewick. Alternate #1 - 415 N. Roosevelt Building B, Kennewick.

b. New bid form included with Addendum No. 1

3. Drawing Update

a. A201 – Bldg. A Ext. Elevations per Kennewick Fire Department requirement.

i. New **18”** steel numbers and letters.

b. A203 – Bldg. B Ext. Elevations per Kennewick Fire Department requirement

i. New **18”** steel numbers and letters.

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SECTION 004110 - BID FORM

BID FORM

PROJECT IDENTIFICATION: Port of Kennewick 415 N. Roosevelt A&B
 Façade Improvements

THIS BID SUBMITTED TO: Port of Kennewick
 350 Clover Island Drive, Suite 200
 Kennewick, WA 99336

1. The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into an Agreement with the Owner in the form included in the Contract Documents to complete all Work as specified or indicated in the Contract Documents for the Contract Price and within the Contract Time indicated in this Bid and in accordance with the Contract Documents.
2. The Bidder accepts all of the terms and conditions of the Instructions to Bidders, including without limitation those dealing with the disposition of Bid Security. This Bid will remain open for 30 days after the day of Bid opening. The Bidder will sign the Contract Agreement and submit the Contract Security within 6 days after the date of the Owner's Notice of Award.
3. In submitting this Bid, the Bidder represents, as more fully set forth in the Contract Agreement, that:
 - (a) The Bidder has examined copies of all the Contract Documents and of the following addenda, if issued. Receipt of addenda is hereby acknowledged:

Date:	Addenda Number:
_____	_____
_____	_____
_____	_____
_____	_____

- (b) The Bidder has examined the site and locality where the Work is to be performed, the legal requirements (federal, state, and local laws, ordinances, rules and regulations) and the conditions affecting cost, progress or performance of the Work and has made such independent investigations as the Bidder deems necessary.
 - (c) Bidder has correlated the information known to Bidder, information and observations obtained from visits to the site, reports and drawings identified in the Contract Documents and all additional examinations, investigations, explorations, tests, studies and data with the Contract Documents.

(d) Bidder is familiar with and is satisfied as to all federal, state and local Laws and

Regulations that may affect cost, progress, performance and furnishing of the Work.

- (e) Bidder has given A/E written notice of all conflicts, errors, ambiguities or discrepancies in the Contract Documents and the written resolution thereof by A/E is acceptable to Bidder, and the Contract Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performing and furnishing the Work for which this Bid is submitted.
 - (f) Where conflicts, errors, ambiguities or discrepancies have been discovered in or between Contract Documents and/or other related documents, and where said conflicts, etc., have not been resolved through the interpretations or clarifications by A/E as described in the Instructions to Bidders, because of insufficient time or otherwise, Bidder has included in the Bid the greater quantity or better quality of Work, or compliance with the more stringent requirement resulting in a greater cost.
 - (g) This Bid is genuine and not made in the interest of or on behalf of any undisclosed person, firm, or corporation and is not submitted in conformity with any agreement or rules of any group, association, organization, or corporation; the Bidder has not directly or indirectly induced or solicited any other Bidder to submit a false or sham bid; the Bidder has not solicited or induced any person, firm, or corporation to refrain from bidding; and the Bidder has not sought by collusion to obtain for himself any advantage over any other Bidder or over the Owner.
 - (h) The Bidder will complete the Work for the prices as set forth in the attached Bid Schedule.
 - (i) The Bidder agrees that the Work will be completed in accordance with the time schedule stated within Article 1.3 of the Contract Agreement. The Bidder accepts the provisions of the Contract Agreement as to liquidated damages in the event of failure to complete the work on time.
4. The following documents must be submitted in order for the Bid to be considered:
- a) Required Bid security in the form of certified check, cashier's check or surety bond in an amount not less than five (5%) percent of the amount of such bid proposal.
 - b) Non-Collusion and Debarment Affidavit
 - c) Anti-Discrimination Certificate.
 - d) Wage Law Compliance Affidavit
 - e) List of Subcontractors. (Must be provided to Owner within one hour after the published bid submittal deadline.)
 - f) Letter of Qualifications

- 5. Communications concerning this Bid shall be addressed to the address of the Bidder indicated below:

Phone () _____ Email _____

- 6. The terms used in this Bid which are defined in the General Conditions of the Construction Contract included as part of the Contract Documents have the meanings assigned to them in the General Conditions.

BID FORM COVER SHEET

PART 1 BASE BID LUMP SUM (EXCLUDING SALES TAX)

\$ _____

PART 2 BASE BID LUMP SUM (EXCLUDING SALES TAX), IN WORDS

PART 3 ALTERNATE #1 LUMP SUM (EXCLUDING SALES TAX)

\$ _____

PART 4 ALTERNATE #1 LUMP SUM (EXCLUDING SALES TAX), IN WORDS

The party by whom this Proposal is submitted and by whom the Contract will be entered into, in case this proposal is accepted, is a Corporation, Partnership, or Individual doing business at:

(Street)

(City) (State) (Zip Code)

The undersigned hereby certifies and represents to signing this Proposal on behalf of the bidder is authorized to do so.

Legal Name of Bidding Organization

Signature of Authorized Person

Partner of Firm or Official of Corporation

Title

- Included Checklist:
1. Required Bid security.
 2. List of Subcontractors.
 3. Affidavit of Non-Collusion and Debarment.
 4. Anti-Discrimination Certificate.
 5. Wage Laws Compliance Affidavit.
 6. Letter of Qualifications

END OF SECTION 004110

NO.	REVISION	DATE	BY	CHKD	APP'D



TITLE SHEET

415 N. ROOSEVELT ST., KENNEWICK, WA 99336

415 N. ROOSEVELT FACADE IMPROVEMENTS

PORT OF KENNEWICK

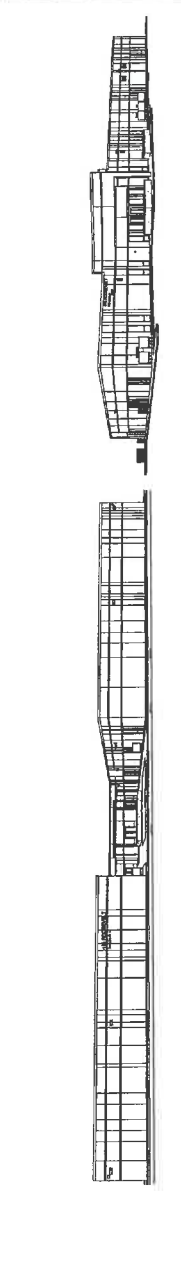
DESIGN	JM	07/29/2024
CHECKED	IME	07/29/2024
APPROVED	TRK	07/29/2024

DP/WR: PKC 07/29/2024
 DESIGN: JM 07/29/2024
 CHECKED: IME 07/29/2024
 APPROVED: TRK 07/29/2024

415 N. ROOSEVELT FACADE IMPROVEMENTS

KENNEWICK WASHINGTON

PORT OF KENNEWICK



PROJECT INFORMATION

PROJECT NAME: PORT OF KENNEWICK 415 N. ROOSEVELT FACADE IMPROVEMENTS
 PROJECT ADDRESS: BUILDING A BUILDING B, 415 N. ROOSEVELT ST., KENNEWICK, WA 99336
 PARCEL ID: 13-04-02-001
 ZONING: R-10 (RESIDENTIAL LIGHT)
 DESCRIPTION: START AND REPAIRS TO EXISTING BUILDING EXTERIOR WALL, EXTERIOR WINDOW, AND EXTERIOR DOOR.
 OWNER: PORT OF KENNEWICK
 ADDRESS: 395 CL COVER BLVD DRIVE, SUITE 200, KENNEWICK, WA 99338
 ARCHITECT: MEIER ARCHITECTURE - ENGINEERING
 CONTACT: 13 W KENNEWICK AVE, KENNEWICK, WA 99336 (509) 735-5888

GENERAL PROJECT NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2021 INTERNATIONAL BUILDING CODE (IBC), AND LOCAL WA CODES AND REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF SITE CONDITIONS, NECESSARY DIMENSIONAL DISCREPANCIES BETWEEN THE CONDITIONS AND THE ARCHITECT'S WORK. ONE MUST NOTIFY THE ARCHITECT'S APPROVAL IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND TAKE ANY OTHER NECESSARY ACTIONS NECESSARY TO PROTECT THE CONNECTION WITH THE WORK COVERED BY THE CONTRACT.
- NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.



SHEET LIST

NUMBER	REV	NAME
100		100 SITE PLAN
101		101 BLDG A EXT. ELEVATIONS
102		102 BLDG B EXT. ELEVATIONS
103		103 BLDG C EXT. ELEVATIONS
104		104 BLDG D EXT. ELEVATIONS
105		105 BLDG E EXT. ELEVATIONS
106		106 BLDG F EXT. ELEVATIONS
107		107 BLDG G EXT. ELEVATIONS
108		108 BLDG H EXT. ELEVATIONS
109		109 BLDG I EXT. ELEVATIONS
110		110 BLDG J EXT. ELEVATIONS
111		111 DETAILS

ABBREVIATIONS	DESCRIPTION
AB	ABSOLUTE FINISHER
AD	ADHESIVE
ADU	ADJUSTABLE
AE	AIR EXHAUST
AF	AMERICAN NATIONAL FIRE INSURANCE COMPANY
AG	ARCHITECTURAL GROUT
AH	ARCHITECTURAL HANGING
AI	ARCHITECTURAL INSULATION
AJ	ARCHITECTURAL JOINT
AK	ARCHITECTURAL KICKER
AL	ARCHITECTURAL LANTERN
AM	ARCHITECTURAL MOUNTING
AN	ARCHITECTURAL NAIL
AO	ARCHITECTURAL OVERLAY
AP	ARCHITECTURAL PANEL
AQ	ARCHITECTURAL QUARTZ
AR	ARCHITECTURAL REPAIR
AS	ARCHITECTURAL SILL
AT	ARCHITECTURAL TIE
AV	AUTOMATIC VALVE
AW	AUTOMATIC WATER
AX	AUTOMATIC EXTINGUISHER
AY	AUTOMATIC YIELD
AZ	AUTOMATIC ZONE
BA	BATH
BB	BATHROOM
BC	BEDROOM
BD	BEDROOM
BE	BEDROOM
BF	BEDROOM
BG	BEDROOM
BH	BEDROOM
BI	BEDROOM
BJ	BEDROOM
BK	BEDROOM
BL	BEDROOM
BM	BEDROOM
BN	BEDROOM
BO	BEDROOM
BP	BEDROOM
BQ	BEDROOM
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NO.	REVISION	DATE	BY	CHKD	APP'D

APPROVAL	
DESIGN	JAN 07/2020
CHECKED	DRE 07/2020
APPROVED	TRK 07/2020

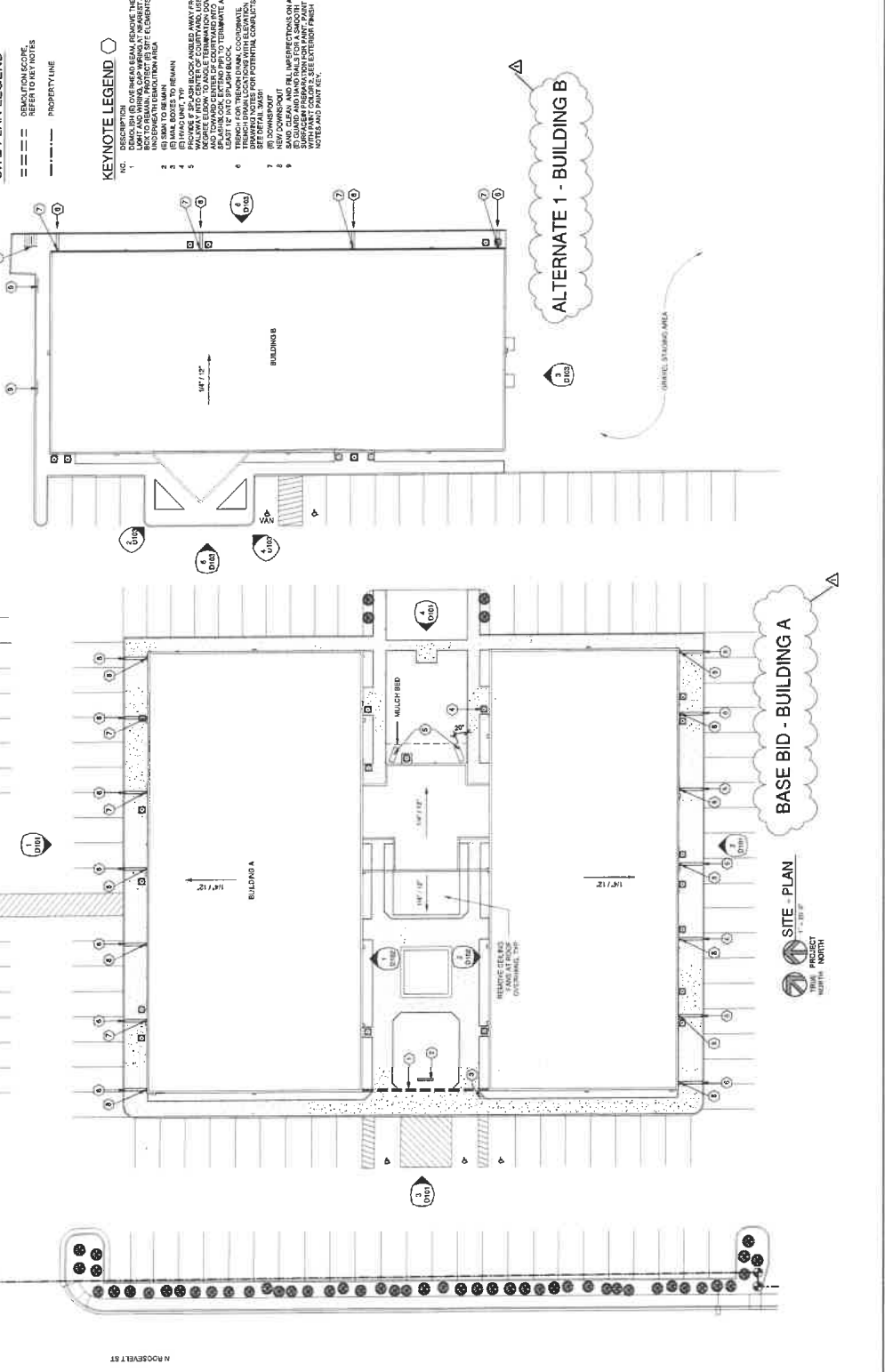
SITE PLAN
 PORT OF KENNICK
 IMPROVEMENTS
 415 N. ROOSEVELT ST., KENNICK, VA 90536

DWG. NO. **A100**
 SCALE: As Noted
 PROJECT DATE: 07/2020
 DRAWING NO. **9054**

SITE PLAN SHEET NOTES
 1. REFER TO THIS SHEET FOR ALL PROJECT NOTES AND LEGENDS.
 2. REFER TO THIS SHEET FOR ALL DIMENSIONS AND DIMENSIONAL INFORMATION.
 3. DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND. NOTIFY ARCHITECT IMMEDIATELY FOR CONSTRUCTION.

SITE PLAN LEGEND
 - - - - - DRIVEWAY
 - - - - - PROPERTY LINE
 - - - - - DRIVEWAY

KEYNOTE LEGEND
 1. DEMONISH OVERHEAD BEAM REMOVE THE BEAM AND REINFORCE WITH 4# REBAR AT 12" ON CENTER. REINFORCE WITH 4# REBAR AT 12" ON CENTER. REINFORCE WITH 4# REBAR AT 12" ON CENTER. REINFORCE WITH 4# REBAR AT 12" ON CENTER.
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NO.	REVISION	DATE	BY	CHK	APP

DATE	1/20/20
DESIGN	MM (10/20/20)
DESIGN	MM (10/20/20)
CHECKED	MM (10/20/20)
APPROVED	TYM (10/20/20)

415 N. ROOSEVELT FACADE IMPROVEMENTS
 415 N. ROOSEVELT ST., KENNEWICK, WA 98535

BLDG A EXT ELEVATIONS COLOR

PRG. NO. **A201**
COLOR
 SHEET NO. **9054**

PROJECT SHEET NOTES

- FOR REVISION NOTES AND LEGEND, REFER TO T061.
- IN THE EVENT OF AMBIGUITY OF NECESSARY DIMENSIONS, CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- SEE SPEC FOR FINISH SPECIFICATIONS AND SHEET A601 FOR EXTERIOR FINISH.
- INSTALL NEW COLLECTOR AND DOWNSPOUTS PER WRITTEN SPEC. ALL DOWNSPOUTS SHALL BE 1 1/2" DIA. AND SHALL BE FINISHED TO MATCH EXISTING FINISH. ALL DOWNSPOUTS SHALL BE FINISHED TO MATCH EXISTING FINISH. ALL DOWNSPOUTS SHALL BE FINISHED TO MATCH EXISTING FINISH.

EXTERIOR FINISH NOTES

SEE EXTERIOR PAINT KEY AND LEGEND.

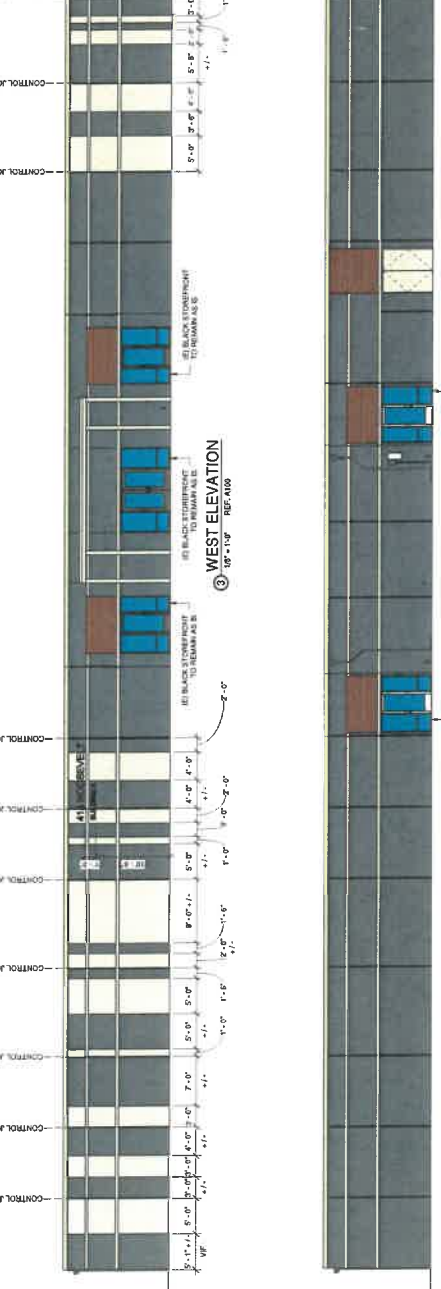
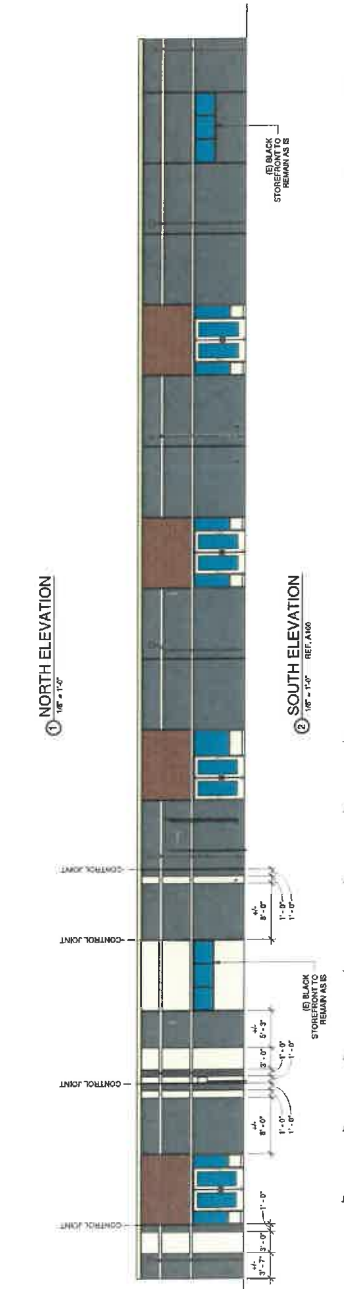
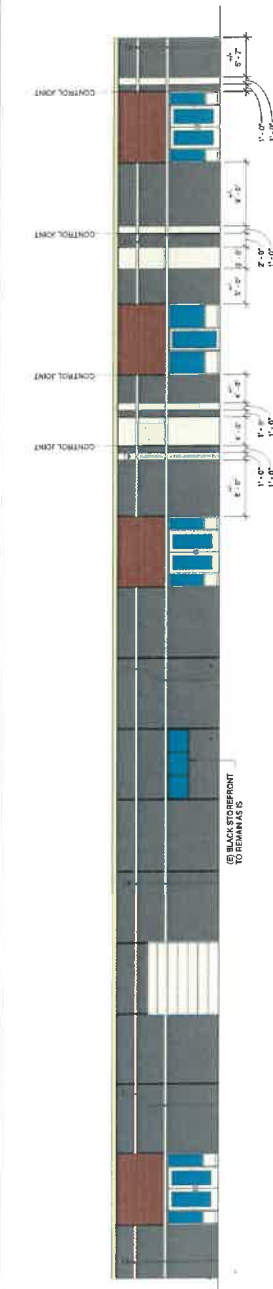
EXTERIOR PAINT KEY AND LEGEND:

- (E) EXTERIOR PAINT - SW BRAY 1035 "ANCE" APPLIED ON SITE
- (F) EXTERIOR PAINT - SW BRAY 1035 "ANCE" APPLIED ON SITE
- (G) EXTERIOR PAINT - SW BRAY 1035 "ANCE" APPLIED ON SITE
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- (Z) EXTERIOR PAINT - SW BRAY 1035 "ANCE" APPLIED ON SITE

EXTERIOR COLOR KEY

SEE WRITERS SPEC

- (E) BLACK STONEFRONT TO REMAIN AS IS
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- (G) BLACK STONEFRONT TO REMAIN AS IS
- (H) BLACK STONEFRONT TO REMAIN AS IS
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- (X) BLACK STONEFRONT TO REMAIN AS IS
- (Y) BLACK STONEFRONT TO REMAIN AS IS
- (Z) BLACK STONEFRONT TO REMAIN AS IS



NO.	REVISION	DATE	BY	CHK	APP

DESIGN	DATE	DESIGNER	CHECKED	DATE	APPROVED
PKC	07/22/2024	JM	JM	07/22/2024	PKC



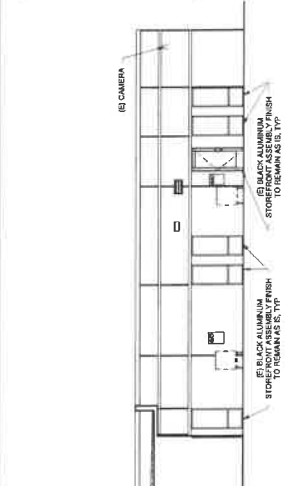
NO.	REVISION	DATE	BY	CHK	APP

PROJECT SHEET NOTES

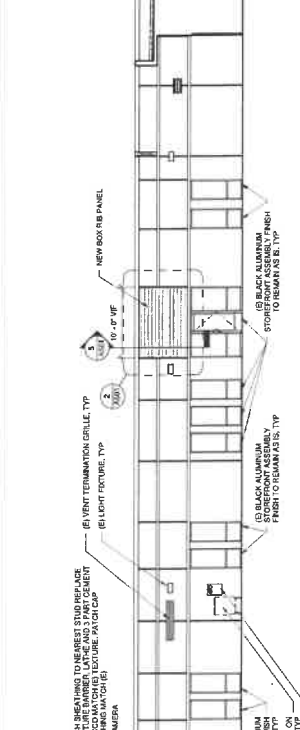
- FOR ORIGINAL NOTES AND LEGEND, REFER TO 1041.
- IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS, REFER TO THE NEXT LARGER DIMENSION OF THE PROJECT.
- REFER TO HISTORY LOGS AND SHEET TABS FOR EXTERIOR FINISH SPECIFICATIONS.
- INSTALL NEW COLLECTOR AND DOWNSPOUTS PER WRITTEN SPECS. LOCATED TRENCH DRAINAGE OVER CONCRETE SLABS. OVERHEAD DRAINAGE SHALL BE INSTALLED AS SHOWN. ALL DRAINAGE SHEETS ATTACHED TO THIS WALL MUST MATCH ADJACENT WALL USE COLOR.
- REMOVE AND REPLACE SEALANT @ ALL INT. * REVEAL JOINT SEAMS.

EXTERIOR FINISH NOTES

- SEE EXTERIOR PAINT KEY AND LEGEND.
- (E) EXTERIOR WALLS WITH AND WITHOUT SIGHTS: FRAMES AND BLACK STOREFRONT DOORS AND WINDOWS: TOOR HARBORWARE DOOR UNPAINTED STOREFRONT ASSEMBLY FINISH AS IS.
 - EXTERIOR OVERHEAD DOORS AND FRAMES SHALL BE PAINT 1.
 - FIELD PAINT FOR EXTERIOR STUCCO SHALL BE PAINT 1, REFER TO "COLOR" SHEETS.
 - * METAL TRIM SHALL BE PAINTED ACCORDING TO EXTERIOR COLOR KEY ON "COLOR" SHEETS.
 - (E) CAP FLASHING SHALL BE PAINT 2
 - BLACK STOREFRONT DOORS/WINDOWS REMAIN AS IS
 - PAINT CONDUIT AND J BOXES TO MATCH ADJACENT WALL TRIM.



COURTYARD SOUTH ELEVATION
1/8" = 1/8" REF: A109



COURTYARD NORTH ELEVATION
1/8" = 1/8" REF: A109

BASE BID - BUILDING A

DATE	BY	CHK	APP
06/25/24	PK	PK	PK
07/01/24	PK	PK	PK
07/08/24	PK	PK	PK

1210 10/1/2024
 STATE OF VIRGINIA
 ARCHITECT'S SEAL

APPROVAL

OWNER: PORT OF KENNEWICK
 PROJECT: IMPROVEMENTS
 CHECKED: DRE 07/08/24
 APPROVED: TPK 07/08/24

415 N. ROOSEVELT ST., KENNEWICK, WA 98386
415 N. ROOSEVELT FACADE IMPROVEMENTS
 BLDG A EXT ELEVATIONS COLOR

DWG. NO. **A202**
COLOR
 9054

BASE BID - BUILDING A

- PROJECT SHEET NOTES**
- FOR GENERAL NOTES AND LEGEND, REFER TO T01.
 - IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS, REFER TO THE GENERAL NOTES AND SPECIFICATIONS.
 - REFER TO MATERIAL SPECIFICATIONS SHEET FOR EXTERIOR FINISH SPECIFICATIONS.
 - INSTALL NEW COLLECTOR AND DOWNSPUTES PER WRITTEN SPECS. LOCATING TRUNCS, DRAIN LINES AND CONDENSATE LINES OVER EXISTING TRUNCS AND DRAIN LINES. ALL NEW TRUNCS AND DRAIN LINES SHALL BE INSTALLED TO MATCH EXISTING TRUNCS AND DRAIN LINES. ALL NEW TRUNCS AND DRAIN LINES SHALL BE INSTALLED TO MATCH EXISTING TRUNCS AND DRAIN LINES.
 - REMOVE AND REPLACE BELMANT @ ALL VTL 4" REVEAL JOINT BEAMS

EXTERIOR FINISH NOTES

SEE EXTERIOR PAINT KEY AND LEGEND.

BLACK STOREFRONT DOORS AND WINDOWS PER WRITTEN SPECS. BLACK STOREFRONT DOORS AND WINDOWS PER WRITTEN SPECS. BLACK STOREFRONT DOORS AND WINDOWS PER WRITTEN SPECS. BLACK STOREFRONT DOORS AND WINDOWS PER WRITTEN SPECS. BLACK STOREFRONT DOORS AND WINDOWS PER WRITTEN SPECS.

EXTERIOR COLOR KEY

SEE WRITTEN SPECS

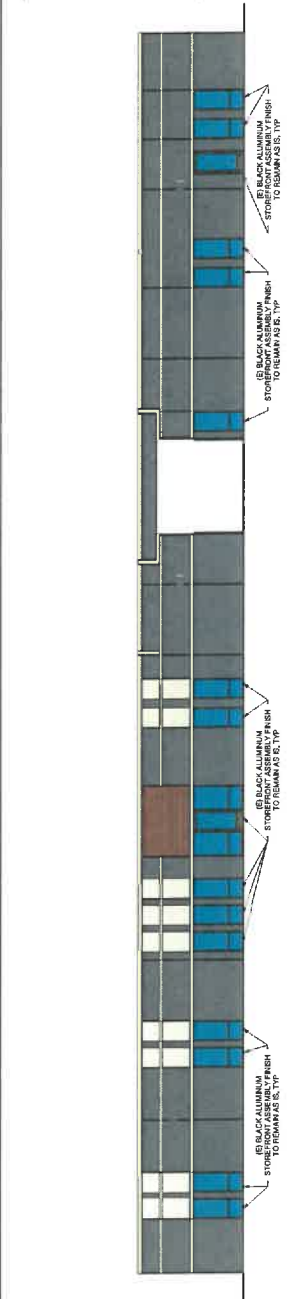
- (1) FIELD PAINT - SW 624 "DISTANCE" APPLIED ON SITE
- (2) ACCENT PAINT - SW 624 "DOOR WHITE" APPLIED ON SITE
- (3) METAL KEF SPAN BOX RB - TERRAZZITA
- (4) STOREFRONT TO REMAIN AS IS
- (5) REMAINS TO REMAIN AS IS

BLACK STOREFRONT DOORS AND WINDOWS PER WRITTEN SPECS. BLACK STOREFRONT DOORS AND WINDOWS PER WRITTEN SPECS. BLACK STOREFRONT DOORS AND WINDOWS PER WRITTEN SPECS. BLACK STOREFRONT DOORS AND WINDOWS PER WRITTEN SPECS. BLACK STOREFRONT DOORS AND WINDOWS PER WRITTEN SPECS.

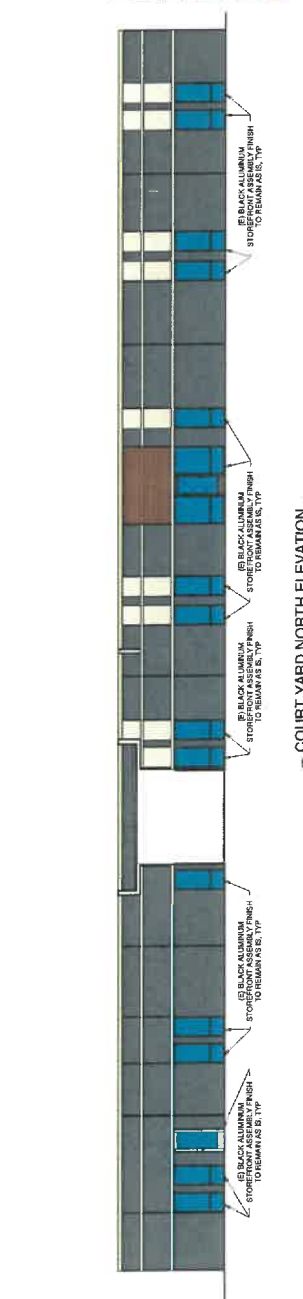
EXTERIOR COLOR KEY

SEE WRITTEN SPECS

- (1) FIELD PAINT - SW 624 "DISTANCE" APPLIED ON SITE
- (2) ACCENT PAINT - SW 624 "DOOR WHITE" APPLIED ON SITE
- (3) METAL KEF SPAN BOX RB - TERRAZZITA
- (4) STOREFRONT TO REMAIN AS IS
- (5) REMAINS TO REMAIN AS IS



① COURT YARD SOUTH ELEVATION
 1/8" = 1'-0" REF: A100



② COURT YARD NORTH ELEVATION
 1/8" = 1'-0" REF: A100

NO.	REVISION	DATE	BY	CHKD	APP'D
1	ISSUED FOR PERMIT	12/13/2023	JM	JM	JM
2	REVISED PER MEIER ARCHITECTURE	12/13/2023	JM	JM	JM
3	REVISED PER MEIER ARCHITECTURE	12/13/2023	JM	JM	JM
4	REVISED PER MEIER ARCHITECTURE	12/13/2023	JM	JM	JM
5	REVISED PER MEIER ARCHITECTURE	12/13/2023	JM	JM	JM
6	REVISED PER MEIER ARCHITECTURE	12/13/2023	JM	JM	JM
7	REVISED PER MEIER ARCHITECTURE	12/13/2023	JM	JM	JM
8	REVISED PER MEIER ARCHITECTURE	12/13/2023	JM	JM	JM
9	REVISED PER MEIER ARCHITECTURE	12/13/2023	JM	JM	JM
10	REVISED PER MEIER ARCHITECTURE	12/13/2023	JM	JM	JM

DATE	DESCRIPTION	BY	CHKD	APP'D
12/13/2023	ISSUED FOR PERMIT	JM	JM	JM
12/13/2023	REVISED PER MEIER ARCHITECTURE	JM	JM	JM
12/13/2023	REVISED PER MEIER ARCHITECTURE	JM	JM	JM
12/13/2023	REVISED PER MEIER ARCHITECTURE	JM	JM	JM
12/13/2023	REVISED PER MEIER ARCHITECTURE	JM	JM	JM
12/13/2023	REVISED PER MEIER ARCHITECTURE	JM	JM	JM
12/13/2023	REVISED PER MEIER ARCHITECTURE	JM	JM	JM
12/13/2023	REVISED PER MEIER ARCHITECTURE	JM	JM	JM
12/13/2023	REVISED PER MEIER ARCHITECTURE	JM	JM	JM
12/13/2023	REVISED PER MEIER ARCHITECTURE	JM	JM	JM

PROJECT SHEET NOTES

- FOR GENERAL NOTES AND LEGEND, REFER TO T041.
- IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS, CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- REFER TO WRITTEN SPECS AND SHEET A04 FOR FINISH FINISH SPECIFICATIONS.
- RECALL FINISH LEGEND AND CONVENIENCE SPECIFICATIONS FOR FINISHES AT (B) SCOPERS' ROUTE DIMENSIONS AS REFERRED TO AVOID CONFLICTS. VERIFY ALL DIMENSIONS AND FINISHES WITH WRITTEN SPECS AND SHEET A04 FOR FINISH FINISH SPECIFICATIONS. VERIFY ALL DIMENSIONS AND FINISHES WITH WRITTEN SPECS AND SHEET A04 FOR FINISH FINISH SPECIFICATIONS.
- REMOVE AND REPLACE SEAMANT @ ALL VERTICAL REVEAL JOINT SEAMS.

EXTERIOR FINISH NOTES

SEE EXTERIOR FINISH KEY AND LEGEND.

(B) EXTERIOR WALL DOORS WITH AND WITHOUT SILLERS, FRAMES AND THRESHOLDS SHALL BE PAINTED ACCORDING TO EXTERIOR COLOR SCHEDULE. EXTERIOR WALL DOORS WITH AND WITHOUT SILLERS, FRAMES AND THRESHOLDS SHALL BE PAINTED ACCORDING TO EXTERIOR COLOR SCHEDULE. EXTERIOR WALL DOORS WITH AND WITHOUT SILLERS, FRAMES AND THRESHOLDS SHALL BE PAINTED ACCORDING TO EXTERIOR COLOR SCHEDULE.

EXTERIOR OVERHEAD DOORS AND FRAMES SHALL BE PAINT 1. SET PAINT FOR EXTERIOR STUCCO SHALL BE PAINT 1. REFER TO "COLOR" SHEETS.

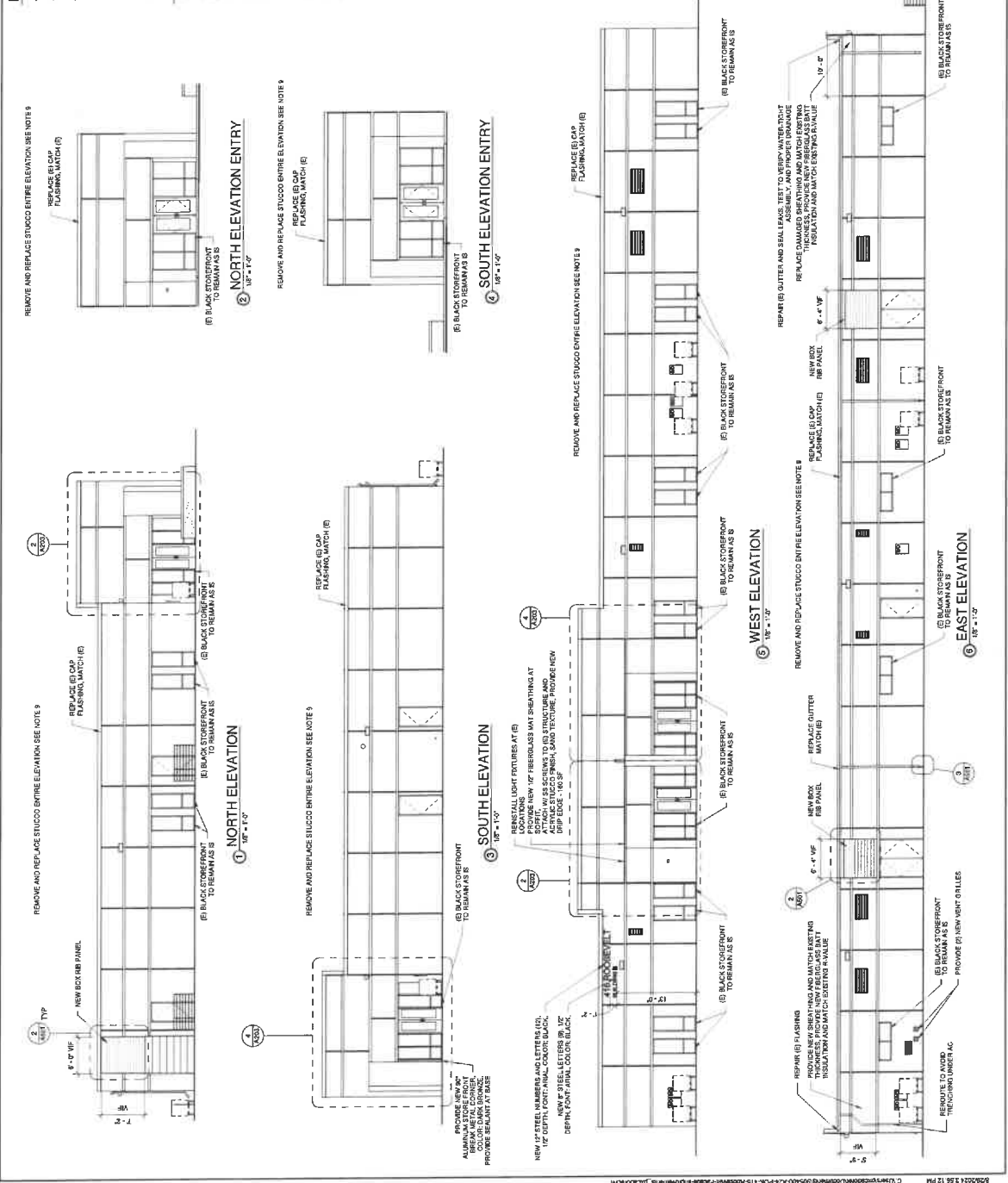
ACCENT PAINT (A) FOR EXTERIOR STUCCO SHALL BE PAINT 2. REFER TO "COLOR" SHEETS.

ALL EXTERIOR STUCCO SHALL BE PAINTED ACCORDING TO EXTERIOR COLOR SCHEDULE. EXTERIOR STUCCO SHALL BE PAINTED ACCORDING TO EXTERIOR COLOR SCHEDULE. EXTERIOR STUCCO SHALL BE PAINTED ACCORDING TO EXTERIOR COLOR SCHEDULE.

(B) CAP FLASHING SHALL BE PAINT 2.

BLACK STOREFRONT DOORS/WINDOWS REMAINS S.

PAINT CONDUIT AND J BOXES TO MATCH ADJACENT WALL BOUND.



ALTERNATE 1 - BUILDING B

